



**ALIENS**  
**SPACE STATION**<sup>TM</sup>  
GACHIBOWLI - TELLAPUR, HYDERABAD

EXPERIENCE 30 FLOORS OF INTELLIGENT LIVING





1.	Introduction .....	04-07	16.	Traffic Management .....	90-90
2.	Cityscape Awards .....	08-08	17.	Landscape Concept .....	91-107
3.	IGBC .....	09-09	18.	Structural Advantage .....	108-109
4.	Project Overview .....	10-11	19.	Common Area Views .....	110-113
5.	Location .....	12-13	20.	Floor Plans .....	114-120
6.	Smart Life and a Smart Home .....	14-15	20.1	Apartments .....	121-137
7.	Apartment Interiors .....	16-25	20.2	Duplex .....	138-144
8.	Interior Packages .....	26-27	20.3	Penthouses / Sky Villas .....	145-177
8.1	Contemporary Option .....	28-39	21.	City View .....	178-179
8.2	Natural Option .....	40-51	22.	Club House .....	180-182
8.3	Bespoke Option .....	52-63	23.	Multi-Level Basement Car Parking .....	183-183
9.	Living Extra-ordinary .....	64-65	24.	What to Look for in Real Estate .....	184-185
10.	Home Automation .....	66-69	25.	Project Specifications .....	186-191
11.	Fixtures and Fittings .....	70-71	26.	Live Experience .....	192-193
12.	Green, Greener, Greenest .....	72-73	27.	Services 360-degrees .....	194-195
13.	Clubhouse .....	74-77	28.	International Consultants .....	196-198
11.1	Outdoor .....	78-79	29.	Aliens Projects Hyderabad Map .....	199-199
11.2	Indoor .....	80-83	30.	Other Projects .....	200-204
14.	SS-Commercial .....	84-87	31.	Notes .....	205-207
15.	Fire Safety .....	88-89			





## BUILDING INSPIRING SPACES

London, Singapore, New York, Chicago, Los Angeles - cities that define "urban living" in the world's consciousness. The attitude, the urbanism, the pace of life and the need for high-class living make them civilised society's highest aspirations. And what's better than experiencing such innovation, intelligence and the ultimate lifestyle in your living space right here in Hyderabad.

Experience all this and more at Aliens Space Station - Tellapur. 30 floors of Intelligent living, the ambience of a five star hotel, features that help you maintain peace despite everyday chaos, home automation that lets you spend more quality time with your loved ones and dazzling lifestyle of a true cosmopolitan living make Space Station - Tellapur, the forward thinker's living perch.





## LIVING IN A NEW WORLD

Space Station is a world in its own. A world which blends the need for being in the middle of it as much as getting away from it all. It collaborates the efforts of international architects and consultants to create stunning apartments balanced with functional and intelligent design to suit any modern lifestyle.

Contemporary design with maximised glass usage and glass facades give Space Station the 21st century touch. An entrance lobby with 3 hi-speed glass elevators add more glamour to the apartments bringing it all the more closer to the ambience of a plush hotel.



## BEST RESIDENTIAL DEVELOPMENT - FUTURE

Aliens Space Station has been highly commended as one of the top 3 projects in the Best Residential Development-Future category in Cityscape Asia 2009 held in Singapore.

Cityscape Asia is an international real estate investment-development event which presents the prestigious Cityscape Awards for Real Estate in Asia to celebrate excellence in the real estate industry.

The Awards recognize and reward ventures that have shown outstanding performance in key market and project areas and have displayed innovative approach to strategy. The awards honour those projects that have set world-class standards of design, safety, security, energy efficiency, leisure provision and other services.



## PLATINUM PRE-CERTIFICATION BY INDIAN GREEN BUILDING COUNCIL

Aliens Space Station is one of the most eco-friendly buildings in India.

The Indian Green Building Council (IGBC) rates buildings based on more than 50 different parameters. 80% open area, efficient water management, efficient garbage management and energy saving equipment are just some of the features that make living in Aliens Space Station 1 healthier and less expensive.

It's no surprise that Aliens Space Station has received the highest rating of Platinum Pre Certification from IGBC.

## PROJECT OVERVIEW



1. Driving Range & Putting Green
2. Amphitheater
3. Lake
4. Pistol Shooting Range & Cricket Practice Nets
5. Jogging / Bicycle Track
6. Natural Lake View
7. Mall & Multiplex
8. Clubhouse
9. Infinity Swimming Pool
10. Plaza
11. Terrace Swimming Pool & Tennis Courts
12. Landscape Area
13. Spa
14. Indoor Swimming Pool

2 BHK

2+1 BHK

3 BHK

Duplex





Live



Work

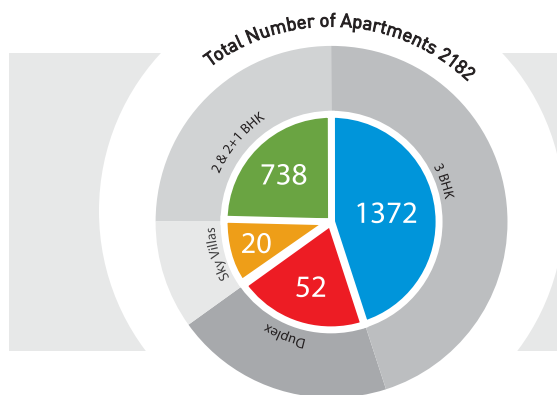


Shop



Play

# RESIDENCES SHOPPING MALL CLUB HOUSE OFFICE SPACES SPORTS & LEISURE ZONE



## APARTMENT OPTIONS

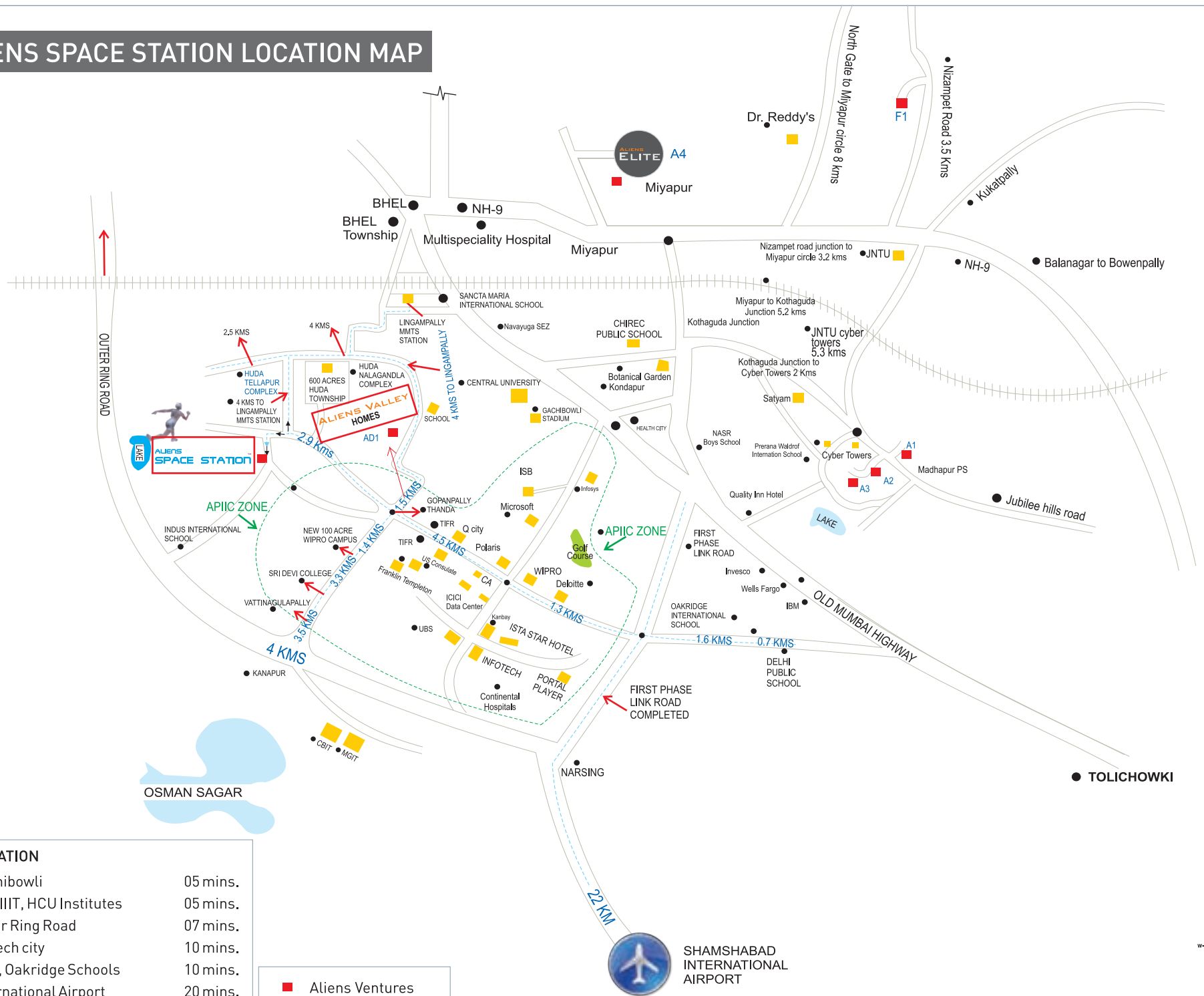
2BHK : 1122 sft - 1402 sft | 2+1BHK : 1344 sft - 1432 sft | 3BHK : 1344 sft - 2208 sft

DUPLEX : 3569 sft - 5036 sft | PENTHOUSE : 4945 sft - 7674 sft

## TOTAL LAND COVERAGE

80% Open Area | 14 Stations | 83 Towers | 30 Floors

## ALIENS SPACE STATION LOCATION MAP



Not to scale



## INSPIRATION IS OFTEN A FUNCTION OF LOCATION

Where space gets lateral and residual, Space Station -Tellapur stands inspired by its enviable presence in the heart of new Hyderabad. Surrounded by IT hubs, financial district, world renowned schools and colleges and the outer ring road connecting you in just a few minutes to the newer developments, Space Station - Tellapur is a home for the progressive buyer who lives life with nothing but the best around him.

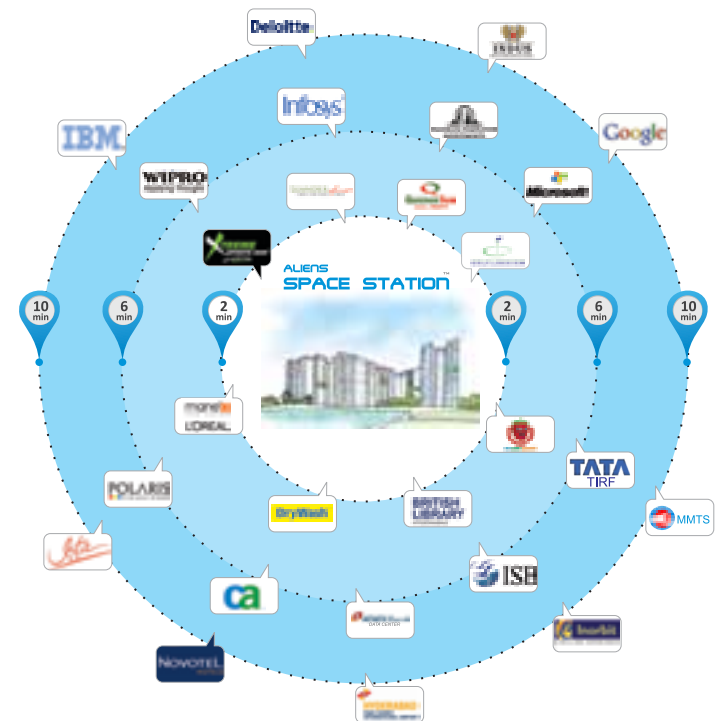
### IN THE HEART OF NEW HYDERABAD

Space Station - Tellapur is well served by road, rail and air, yielding access to the rest of the country and beyond. The Outer Ring Road and 100 feet road has improved accessibility to generate a thriving community that's always within reach.

Major MNCs such as **Wipro**, **Infosys**, **Microsoft** and world renowned institutes such as **ISB**, **HCU**, **IIIT** are in close proximity making Space Station the most desirable location for residents and businesses alike. ORR that is just 2 Km away from Space Station will bring in the proximity to all that's new and vibrant in Hyderabad.

- Easy distance to the heart of the Financial district centre
- Immediately adjacent to the new IT centre
- Easy access to public transport
- Excellent location for living and investment

## A PLACE WHERE EVERYTHING IS WITHIN YOUR REACH







## SMART LIFE AND A SMART HOME

Space Station - Tellapur provides you the home of the future. Homes that adapt to technology rather than being controlled by technology. Each living space at Space Station embraces the usefulness and advantages of hi-tech features such as biometric security, home automation, wi-fi accessibility, touch pad electrical switches etc to benefit the present day living standards.

The apartments are fitted with automation facilities that set the lights, temperature, and music, to the individual's preferences automatically. The residents can also view and keep a check on the parking lot or the children's playground from their homes via CCTVs to ensure their safety.

The apartments are modern and contemporary in their design with maximum glass usage and French windows, 100% power back up to give you uninterrupted comfort, centralised LPG connection, bathrooms with accessories, and laundry service in the township.

Bringing convenience further to your doorstep is the option of customised interiors from the services of the interior design team and the care team to make your moving into the new house as easy as taking the possession of the key!

## APARTMENT INTERIORS





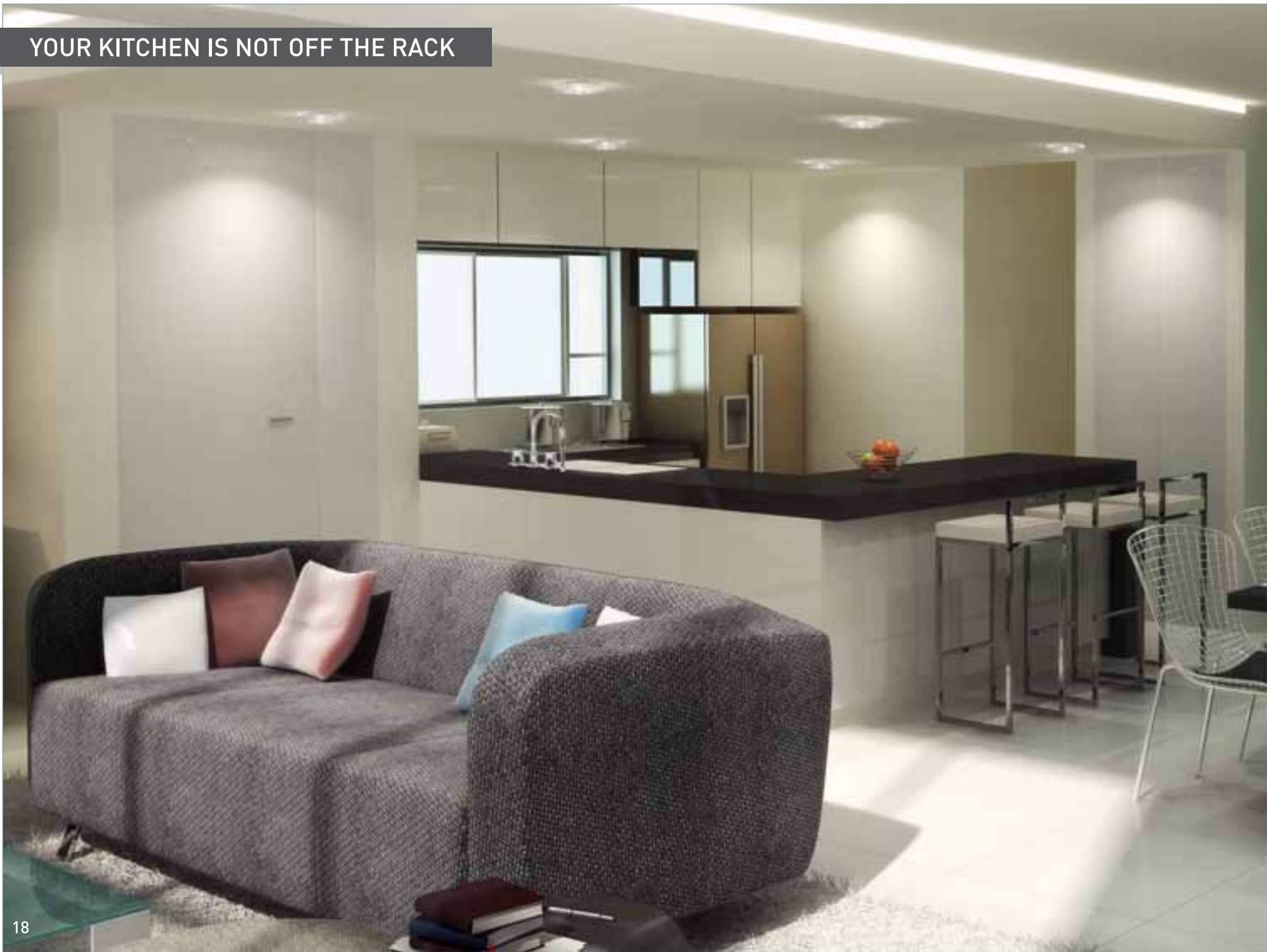
## LIVING ROOM

The living space is designed and inspired by modern architecture, creating it as contemporary and supremely livable. Expansive and open, the living room creates a fresh and innovative style that balances light and space.

### Features

- Abundant glass usage
- French windows
- Balconies with spectacular views
- Touch pad switches
- Vitrified tiles flooring

YOUR KITCHEN IS NOT OFF THE RACK





## KITCHEN

At Space Station we want your space to be just the way you want it. Keeping that in mind, we choose colours and fittings that shape the distinctiveness of each individual home. As each apartment differs in size, fittings are set perfectly in high quality modular designer kitchens.

### Features

- Centralised LPG cooking gas connection
- Breakfast counter table
- Stainless steel sink & drain board
- Granite platform along with wall cladding up to 2ft above platform with Bell or equivalent tiles
- Wet area for washing utensils

STYLISH, PERSONABLE AND PRIVATE





## BEDROOM

Comfort is essential when so much of life is spent in and around the bedroom. You want space, easy access, relaxing lighting and generous designer wardrobes. Using careful design, the bedrooms at Space Station have been created keeping total relaxation in mind.

### Features

- Remote controlled switches
- TV points and telephone in the master bedroom
- Spectacular windows often leading to individual balconies

## FORM BEFRIENDS FUNCTION





## BATHROOM

Bathrooms have been fully specified with the fixtures and fittings that today's discerning buyers demand. High quality tiling, marble surfaces, luxury fixtures, and some stunning extras have been included to pamper your senses.

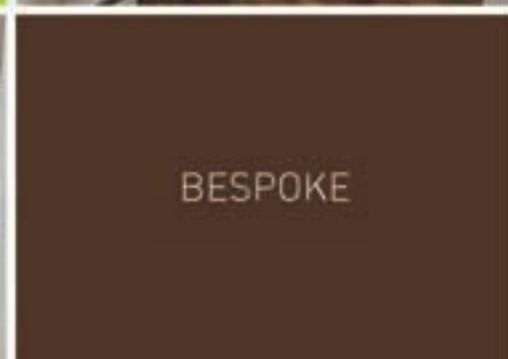
### Features in Master En-suite

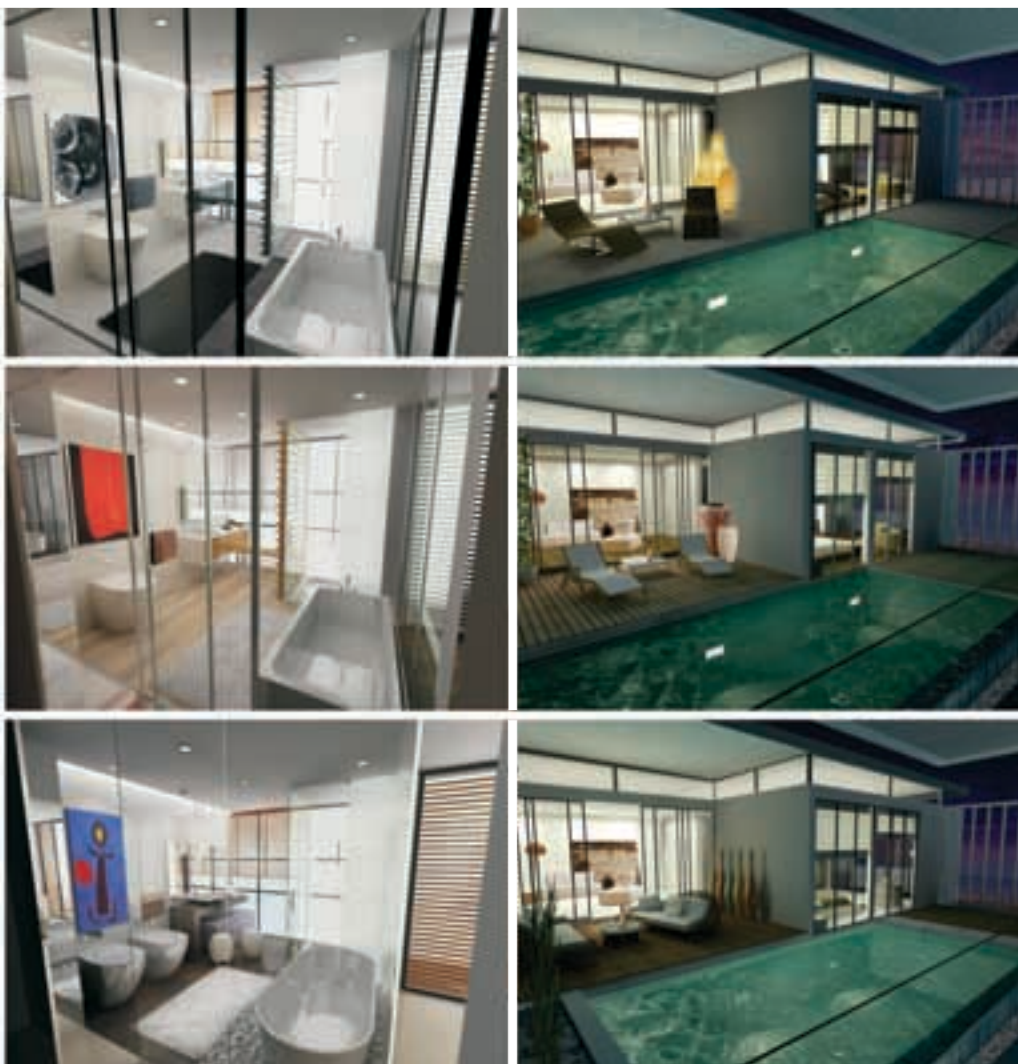
- False ceiling
- Hindware/ Jaquar / Parryware / ESSESS or equivalent shower & bath fittings
- Fixed bath tub by Bathline
- Mirrored and shelved cabinet with shaver socket & pelmet lighting
- Bath accessories with Soap & Brush holder
- Stainless steel towel rails as standard fixture

## 'PENTHOUSE / SKY VILLA'









## INTERIOR PACKAGE

A key and your home is ready to move in. The 'with-interiors' package has it all. The designer touch, the elegance, the sheer sensation of a contemporary and slick home make living otherwise superficial.

The expertise of our experienced interior design panel and the support of our care team to co-ordinate and execute the work progress leaves you completely hassle-free.

### Interior package option includes:

- Interior Design Planning to Execution
- False Ceiling with Designer Lights
- Modular Kitchen with Electric Chimney & Hob
- Wardrobes and Cupboards
- Wooden Flooring in Bed Room or as per design.
- Texture paint on walls according or as per design option
- Dishwasher, Front-loading Washing Machine and Dryer for 3 Bedroom apartments
- 3 fitted split Acs for 2BHK, 2+1BHK & 4 for 3BHK apartments

CONTEMPORARY  
OPTION



CONTEMPORARY



## LIVING ROOM





## KITCHEN





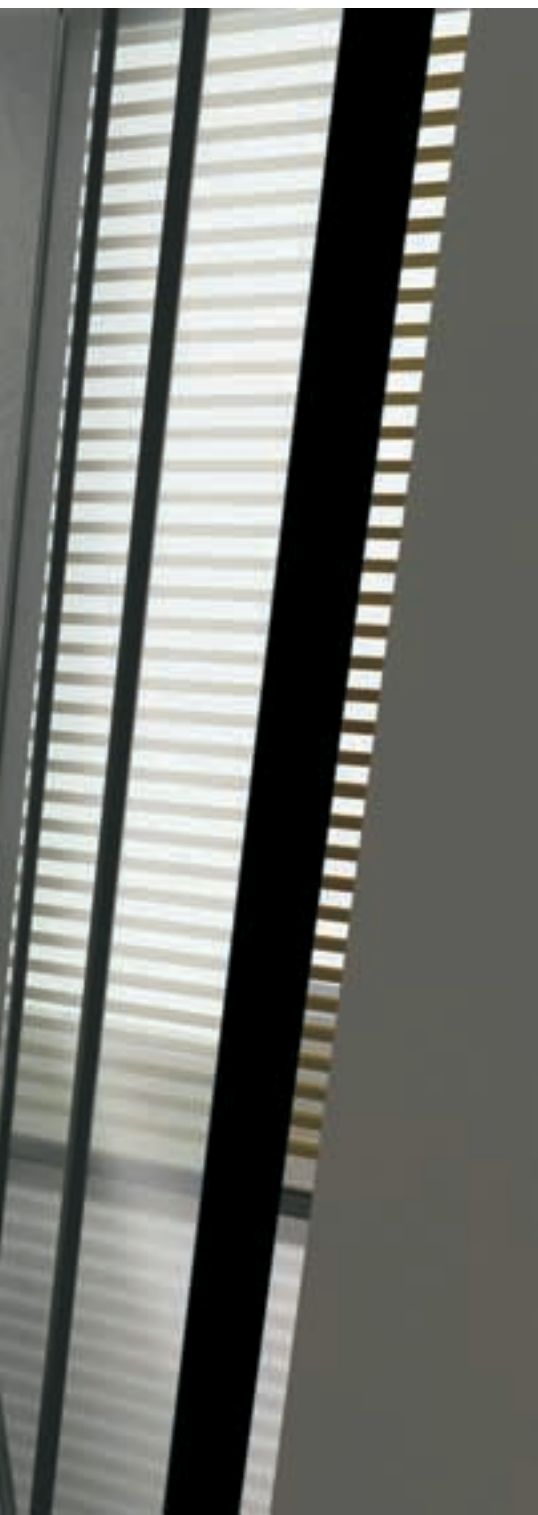
## BEDROOM





## BATHROOM





PENTHOUSE / SKY VILLA





NATURAL  
OPTION



## LIVING ROOM





## KITCHEN





## BEDROOM





## BATHROOM









BESPOKE  
OPTION



## LIVING ROOM





## KITCHEN





## BEDROOM



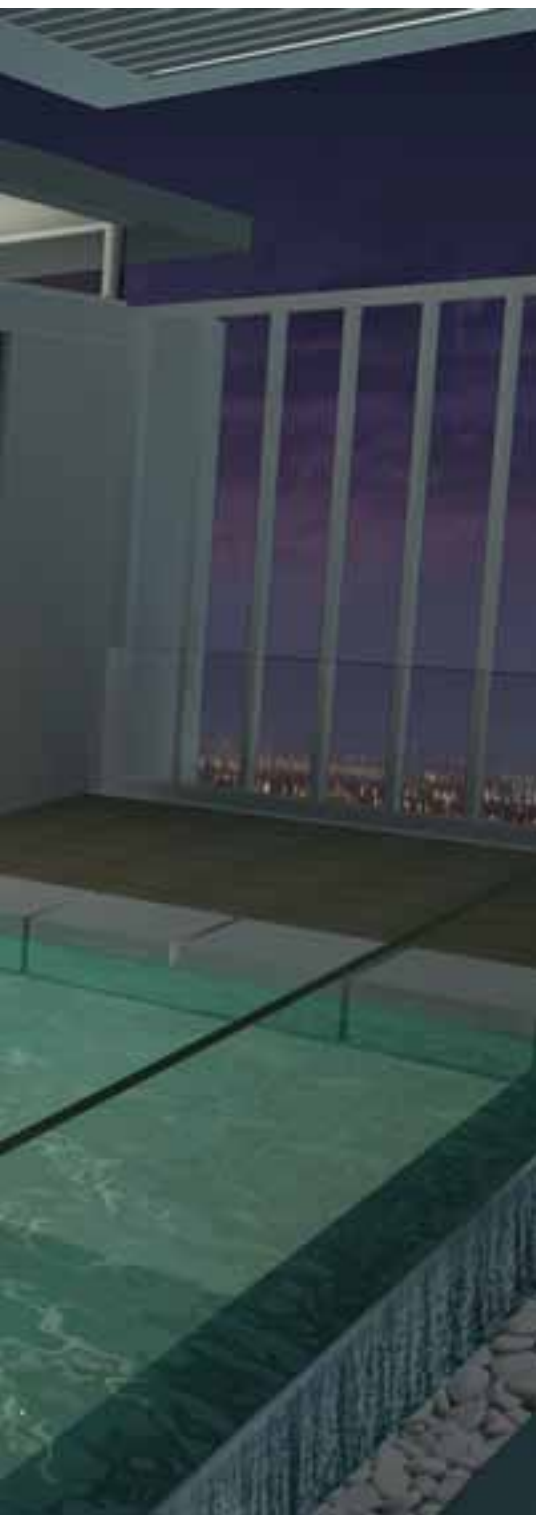


## BATHROOM













## A TRULY EXTRA-ORDINARY LIVING

Hot on the heels of the apartments is the outside ambience, seamlessly blending the modernism of the apartments with the rest of the community. Sky-bridges, a tower helipad, skillful modern architecture with an eye for open and green spaces, splendid city views, a lobby lounge in each tower with hi-speed glass elevators sync-in the entire township into one single entity from inside-out.

And yet, what is complete without the harmony of the body, mind and soul. Space Station offers a complete package for the sports aficionados including swimming pool, club house, mini golf driving range, tennis court, squash court, cricket nets, indoor basket ball court, 1.7km jogging track around township, shooting range, spa, air-conditioned gym and meditation hall.

An evening in splendour can unravel a host of activities. Hop into the shopping mall for a shopping spree or plan a movie at the multiplex. In case you prefer to have it quiet, head to the clubhouse and unwind with a book of your choice from the library or a game of billiards or table tennis. Coffee lounge, restaurant, nightclub make the atmosphere eclectic and vibrant, giving you an entire city within easy reach.

Air-conditioned guest rooms for visitors, departmental stores, banks / ATMs and 360-degree services of Care, Support and Finance Team drive your comfort and simplifies your living.

Space Station also relieves you from the mundane activities such as monthly bill payments, society maintenance and other hassles of upkeep through its property management and building management services. A five-year community maintenance is also provided by the Aliens Property Management Team.

## EXPERIENCE THE INTELLIGENCE OF 'INVISIBLE TECHNOLOGY'



Touch Screen  
Home Automation



Video  
Door Phone



Biometric  
Locking System



100%  
Power Backup



Piped Gas  
Connections



Reverse Osmosis  
System



5 years Facility  
Management Services

## Advanced Home Automation Highlights

Your home at Aliens Space Station is a blend of beauty and brains. With the home automation system installed it listens and learns. It is designed like a mobile phone to make life easier. No head-scratching or cries for help. It's an instrument of comfort and convenience, all invisibly inter-connected. So sit back, walk, do the ball dance, or jump and roll anywhere you like in your room. It doesn't matter.



### Interfaces

We offer a variety of intuitive Cisco interfaces to drive your system: TV remote, tabletop, wall, and portable touch screens. Even your mobile phone and iPad can put you in control.



### A/V

From speaker points to audio switches, iPod docks to media players, advanced facilities at Space Station make it easy to design a home theater or multi-room music masterpiece.



### Climate

Curb your monthly bills and ease your eco-conscience by automating systems to conserve energy. Control energy use from anywhere and learn how much power you're using during peak hours.



### Lighting

Dimmers and switches easily replace existing light switches, or plug into outlets to offer complete control of your lights and electronic equipment without construction hassles. And the energy savings come naturally.

## A Touch of Your Finger Brings You..Serenity, Convenience & Comfort



### Home automation lets you do more!

Imagine being able to play your favorite DVD, dim your living room lights, control the temperature on your thermostat and turn on your air conditioner just by sitting on your couch and tapping on a touch screen.

---



### Unlock your life with the latest technology

Enjoy the most advanced lock and release all your worries on locking. Get rid of all your concerns regarding the security of your home and use the latest technology lock.

---



### Fire and Gas Alarm Alerts

"Did I turn off the gas?" "What if a fire breaks out and burns down my house?" Finally, you can leave behind these nagging thoughts that haunt you whenever you are away from home.

---



### Program Using the E-Mail Notification Agent

A security threat to the house notified you of broken windows, doors opening, and motion detected in Away mode. In the template, you define Subject: Security Alert



### Security

Enable or disable your video surveillance camera and intercom from miles away. You can also see and talk to your visitor at the main gate from your touch panel.

---



### Home Motion Sensors

With the touch of a button by your bed, you can turn on the lights in your hallway or bathroom for you to safely navigate through the dark.

---



### Convenience

Through home automation you can order groceries from the super markets or book movie tickets, pay your utility bills like electricity, water and gas. You can also book and view the status of amenities including badminton courts, tennis courts, squash courts, etc.

---



### Maid Mode

Your maid reaches late, and no one at home, she can enter the house if you authorized her remotely. You can also receive an SMS on maids' arrival and exit.

---



### Kids Mode

Leave a message for the kids when they come home. You can also restrict access to certain appliances you don't want them to use such as TV or the gas knob.





## FITTINGS AND FINISHES

Each contemporary apartment is set in with fittings and finishes that are modern and sleek by Hindware, Cera, Simpolo/ equivalent. Care is taken to ensure unprecedented quality standards are maintained. Attention to detailing and riveting it with the rest of the ambience to create absoluteness in the environment is the highest priority to give the residents a complete satisfactory experience.

# GREEN. GREENER. GREENEST

GREEN BUILDING SAVES : MONEY | ENERGY | PLANET

"A green building uses less energy, water and natural resources, creates less waste and is healthier for the people living inside compared to other buildings."



Abundant sunlight | Healthy environment | Energy efficient appliances | Accessible to physically challenged  
Efficient water usage | Electric-car charging facility | Abundant greenery

Aliens Space Station, the first residential project in Hyderabad & one among the first in India to receive  
Green Building Platinum Pre-certification by Indian Green Building Council (IGBC)

### What is a green building?

A green building uses less energy, water and natural resources, creates less waste and is healthier for the people living inside compared to other buildings.

### What is IGBC?

IGBC, which is a part of CII - Godrej GBC, is actively involved in promoting the Green Building concept in India.

The council is represented by all stakeholders of construction industry comprising of: Corporate, Government, and Nodal agencies, Architects, Product manufacturers, Institutions, etc. The Council is headed by Dr Prem C Jain.

### Why go green?

**Operational Savings:** Green buildings consume substantially less energy and water vis-à-vis conventional buildings.

**Daylight & Views:** Working in an environment with access to daylight and views provides a connection to the exterior environment. This has a soothing effect on the mind. Various studies prove that the productivity of people who have access to day lighting and views is at least 12-15 % higher.

**Air Quality:** Green buildings are always fresh and healthy. Every green building will have to release fresh air continuously. The green buildings use interior materials with low volatile organic compound (VOC) emissions. A typical office building would require purging of fresh air which provides a fresh ambience inside the building.

The bottom line benefits are just the beginning!

- Saves upto 30% of energy
- Saves upto 50% of fresh water
- Upto 70% less air pollution
- 30 % to 40% more efficient than any other normal building

### LIFESTYLE BENEFITS:

- Improved Indoor Air Quality
- Abundant Natural Daylight

### HEALTH BENEFITS:

- Greater Health and Well-being of Occupants
- Non-Polluting Internal Transport (Electric Buggies)

### ENERGY BENEFITS:

- Fresh Air Circulation via Energy Recovering Air handling Systems
- Building Construction with Thermally Insulated Walls

### SOCIAL BENEFITS:

- Enhanced Community Sustainability
- Efficient Parking System

### ENVIRONMENTAL BENEFITS:

- Optimised Site Development
- Use of Renewable Energy

### ECONOMIC BENEFITS:

- Effective Building Management System
- Less Utility Bill Payments





## CLUBHOUSE

From sports, relaxation, to fun, the club house makes it all alive.

A Yoga and Meditation Hall, AC service room for guests, Business center are some of the exclusive features.

Barbeque Zing, Banquet and Multi-purpose Hall to cater get-togethers and other occasions.

A library, child care creche service is also available for Space Station residents.



## JACUZZI



## CLUBHOUSE

- Library
- Sauna/Jacuzzi
- Spa
- Yoga and Meditation Hall
- AC Gym

## REJUVENATE



## SAUNA



## OUTDOOR SWIMMING POOL



## MINI GOLF DRIVING RANGE

### OUTDOOR

- Mini-Golf driving range
- Cricket Nets
- Tennis Courts
- Kids Fun Pool
- Kids Play Area
- Skating Rink
- Jogging Track

### TENNIS COURTS



### SKATING RINK



## INDOOR BASKETBALL COURT





## INDOOR

- Table Tennis
- Shuttle Court
- Carrom Board Game
- AC Gym
- Squash Court
- Yoga/ Meditation Center
- Pool Table
- Basketball Court
- Swimming Pool



## AC GYM



YOGA



MEDITATION



## INDOOR SWIMMING POOL







SHOPPING CENTRE



FOOD COURT

## THE ALIENS MALL

### PERFECTING THE ART OF WHO YOU ARE

- Banks, ATMs
- Multiplex Theatre
- Restaurants, Coffee Shop
- Service Apartments
- Books, Stationery and Supplies Store
- Salon
- Other Outlets

## INTERNAL COMMERCIAL/RECREATIONAL FACADE





## HELIPAD



## FIRE SAFETY MEASURES IN ALIENS SPACE STATION



FIRE ENGINES



HEAT & SMOKE DETECTORS

Aliens Space Station meets all the norms of NBC-2005.

National Building Code (NBC) of India is a national instrument providing guidelines for regulating the building construction activities across the country.

- Connecting corridor throughout the building
- Fire shafts provided as per guidelines with a lift and staircase
- Fire shafts with natural ventilation
- Ventilation with fresh air & exhaust blowers in each zone
- Sprinklers and fire alarm system are planned at all levels

**Refuge Area:** In case of fire, the residents can go to the nearest refuge area from where they can be safely evacuated.

### Heat&Smoke

**Detectors:** Heat & smoke detectors have been designed & integrated with Building Management System.

**Sprinklers:** Sprinklers will be placed inside / outside the apartments & in the basements for effective fire control.

**Helipad:** A Helipad has been designed in an effective location for efficient evacuation & medical emergency.

**Gas Safety:** Automatic shutdown of gas in case of leakage.

**Staircase:** 22 dedicated staircases for fire evacuation have been provided.

**Fire Engines:** Dedicated fire engines in the township to ensure prompt response and control. Approach roads for Fire Engine movement all across the township.

### Integrated

**Facility:** All fire & safety measures are integrated to the BMS for effective utilization & control.



Need to FIND US?  
Scan this QR code on  
your smartphone!

## TRAFFIC MANAGEMENT SYSTEM

- Chip inserted vehicles will automatically release the boom barrier
- Integrates with video surveillance system for the monitoring of car parks
- Eco-friendly electric buggies to ferry the young and old
- Basement car parks air quality monitoring & control using CO sensors
- Each resident's parking lot will have an electric vehicle charging point connected to a Power Line Communications (PLC) socket
- Multi-level car parking system
- Seven entry and exit points



# 'LANDSCAPE CONCEPT'

## Space Station

### Conceptual Landscape Design Statement

#### Overall Concept

The landscape of Space Station plays a vital role in the initial promotional identity, continuing environmental enhancement, outdoor enjoyment, and livability of the community. It originates at a macro scale as a translation of the architectural vision into surface planes applying the angular, asymmetrical patterns and three dimensional forms of the buildings as its foundation. A dynamic and complex character is revealed by the interweaving and overlapping of the various spaces and features-some seemingly is floating, others terracing or stacked upon each other-while an inherent logic and organization is built into the overall arrangement to create a functional and attractive site.

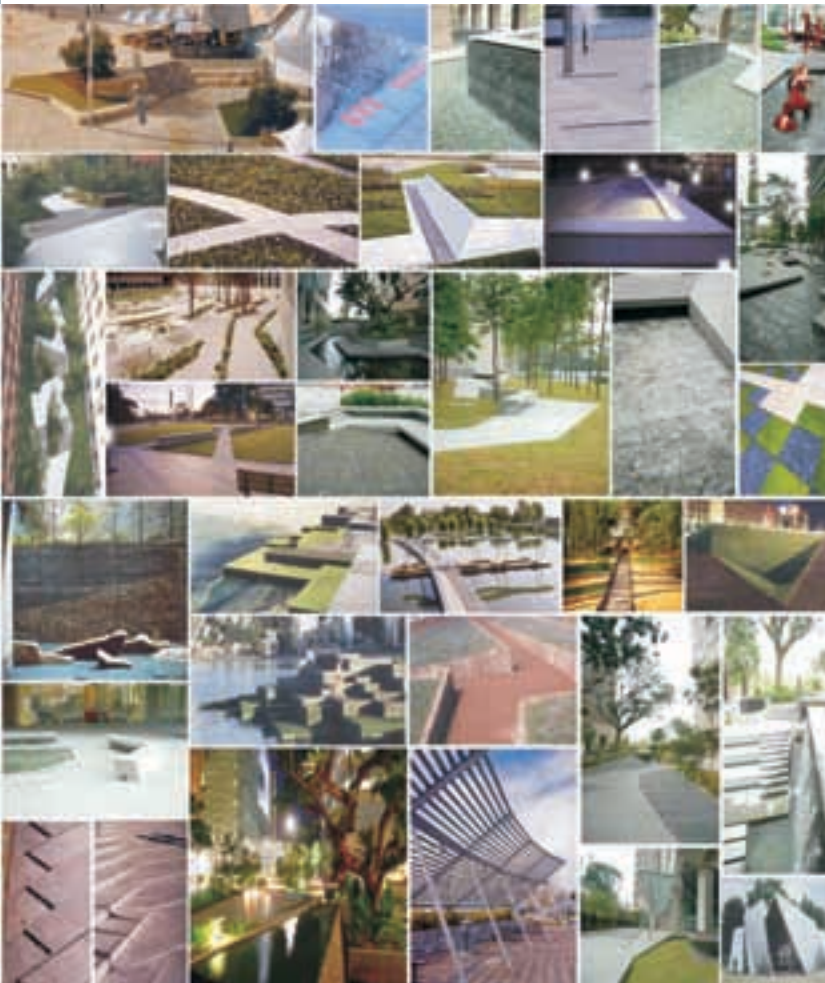
#### General Features

Several basic features and design motifs are repeated throughout the project to maintain and overall visual consistency, while specific details-colors, surface materials, planting arrangements-will evolve to distinguish particular zones or individual towers and facilities.

1. Linear planes of water are scattered throughout the site, acting at times as visual focal points, separations between public and private space, or as surprise elements within the landscape.
2. Metal trellises provide shade or spatial enclosure in gardens and patios and provide a filtering ceiling to structural voids within the building podium.
3. Timber decks and boardwalks help to bring natural warmth into the hardscape palette and create a strongly identifiable feature in the organization of the site.
4. Paved and planted terraces spill off the edges of the building podium dropping down to the lake and to the project boundaries to blend the podium walls into the landscape, blurring the edge between site and building.

#### Landscape Zones

1. The commercial facility is surrounded on three sides by flexible spaces that can be used for al fresco dining related to ground level food and beverage facilities, for passive or social public use, or for periodic events. The primary design elements are water features that identify the main building entry and separate the vehicular drop-off from a pedestrian corridor. The public space is detached from the residential tower landscape by way of a combination of feature walls, planting beds, and pools, thus presenting some visual connection between public and private space while maintaining security and privacy for residents.
2. The residential tower lobbies consist of decks that appear to float above the basement voids, with trellises and sky bridges creating an intricate pattern of spatial connections. The lobbies are surrounded by pocket gardens, which extend out from under the building footprint to further blend structure and landscape. Two tower lobbies are designated as recreation hubs with badminton, table tennis, and squash courts located near the lift cores.
3. The residential site includes several gathering and social areas for events or ad-hoc use. These include a central plaza and adjacent playground shaded by a canopy of evergreen trees as well as a community amphitheatre. The plaza is large enough to accommodate seasonal events and to allow space for children on skates and bicycles. The small amphitheatre is located adjacent to the lake and consists of an upper hard paving and lower stone surfaced stage, connected by a series of seating terraces. The upper deck provides a direct link to the main swimming pool, acting as an extension of the pool deck with space for sunning lounges or tables. The expansive pool provides a 60 meter lap zone and open swimming area, as well as a series of intimate relaxation spas with underwater seating and lounges. A separate, shallow children's pool is bordered by deck space sufficient for families to lounge and socialize.
4. In addition to the main playground adjacent to the central plaza, two other playgrounds equipped with a variety of play structures provide social, physical, and creative play opportunities for 6 to 12 year old children. Younger children-toddlers and those up to five years-are accommodated in several other tot lots located near tower lobbies and provided with shade and seating for families, as well as play elements suited to this age group. These tot lots and rest zones become social nodes for young families in the community.
5. At the west end of the site, overlooking the lake is the golf practice complex. This zone, separated from the main site by water and green space, provides not only adult recreation but visual and sensory relief from the complexity and activity of the project. The facilities include a netted practice range sufficient for several golfers, a chipping green with several tee boxes placed at various terracing levels, and an extensive putting green that can be turned into a putting "course" if desired. A shade pavilion forms a social node for adults and seniors away from other more active zones, and the golf complex is bordered by terraced gardens stepping down toward the lake edge. In addition to the golf facilities, the recreation zone at the west end includes cricket practice net with two wickets and a fitness equipment cluster.
6. In addition to these terraced gardens and the central amphitheatre, the lake edge consists of a multi-textural landscape stepping down from the building podium, which is further punctuated by small water features and a zigzagging timber boardwalk.



## MASTER PLAN



ROOF PLAN



MASTER PLAN OPTION 2



DIAGRAM: ZONING

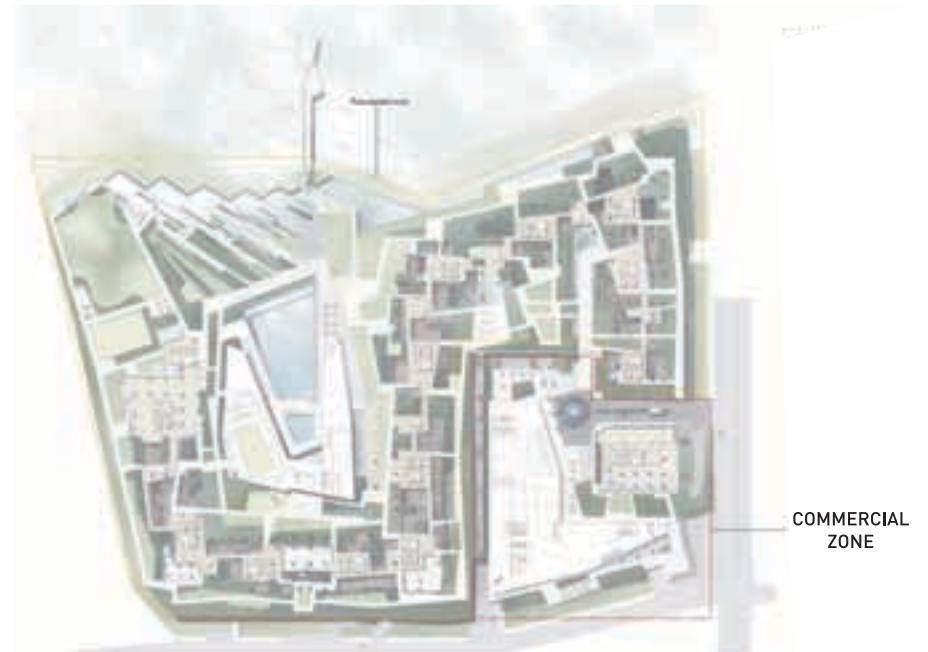


DIAGRAM: SPORT & ACTIVITIES

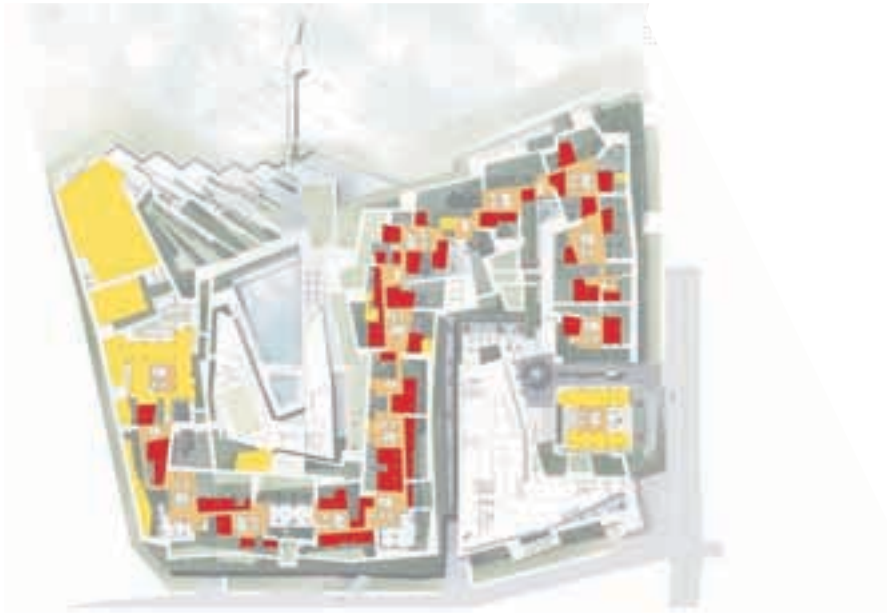


DIAGRAM: ROADWAY & SECURITY POINT

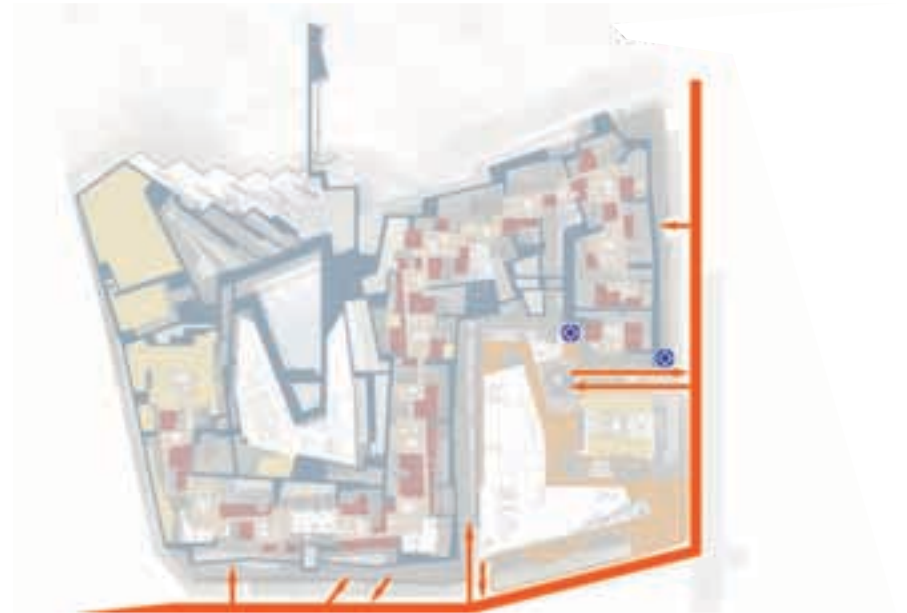
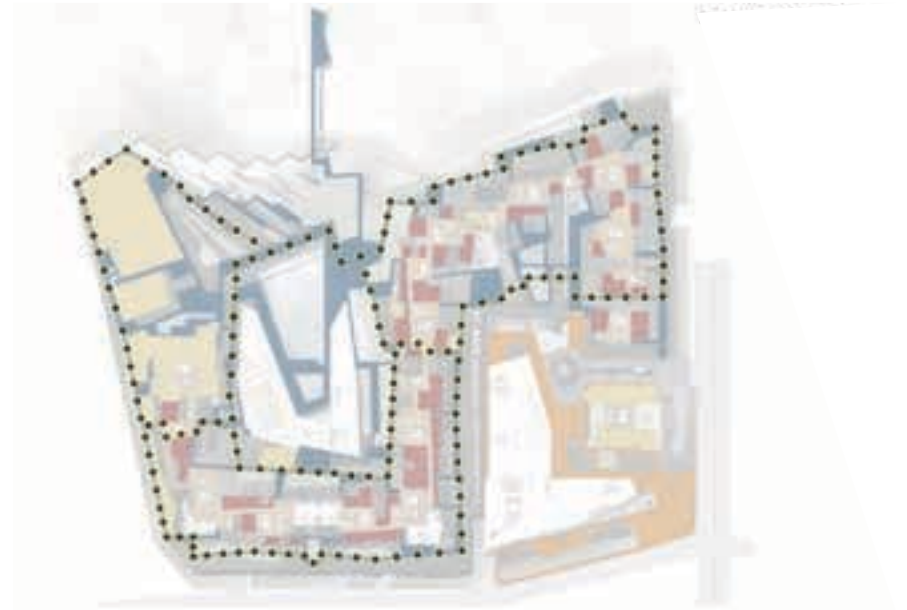
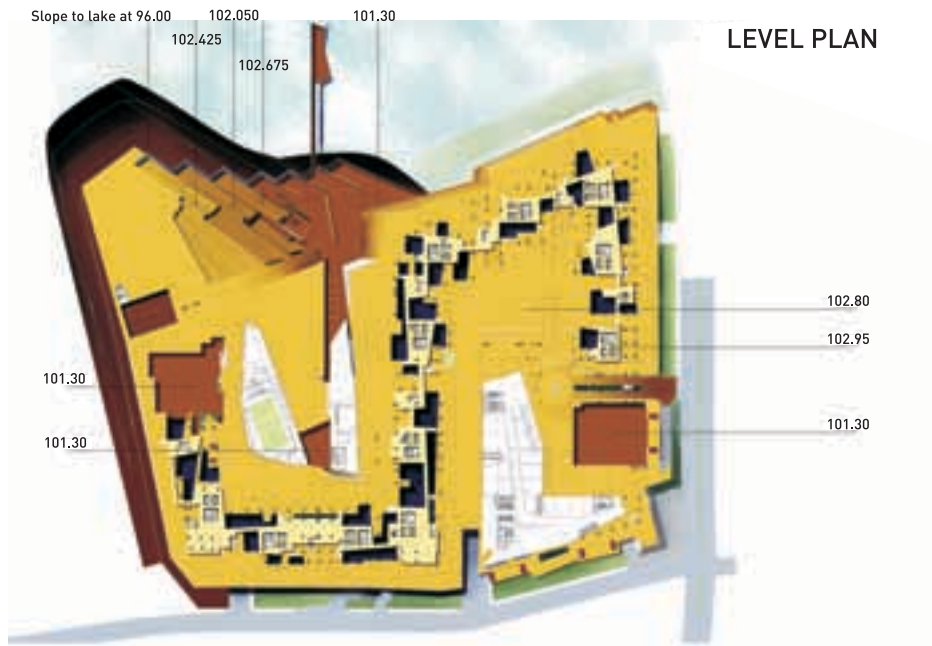


DIAGRAM: MAIN CIRCULATION & SUB CIRCULATION AND LINK TO LIFT CORES



DIAGRAM: JOGGING TRACK

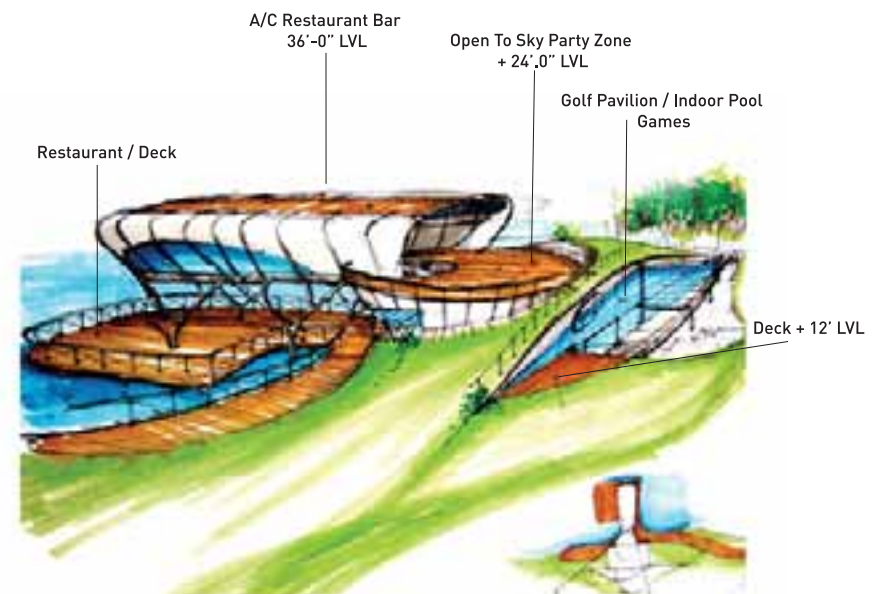




TYPICAL SECTION 1



TYPICAL SECTION 2

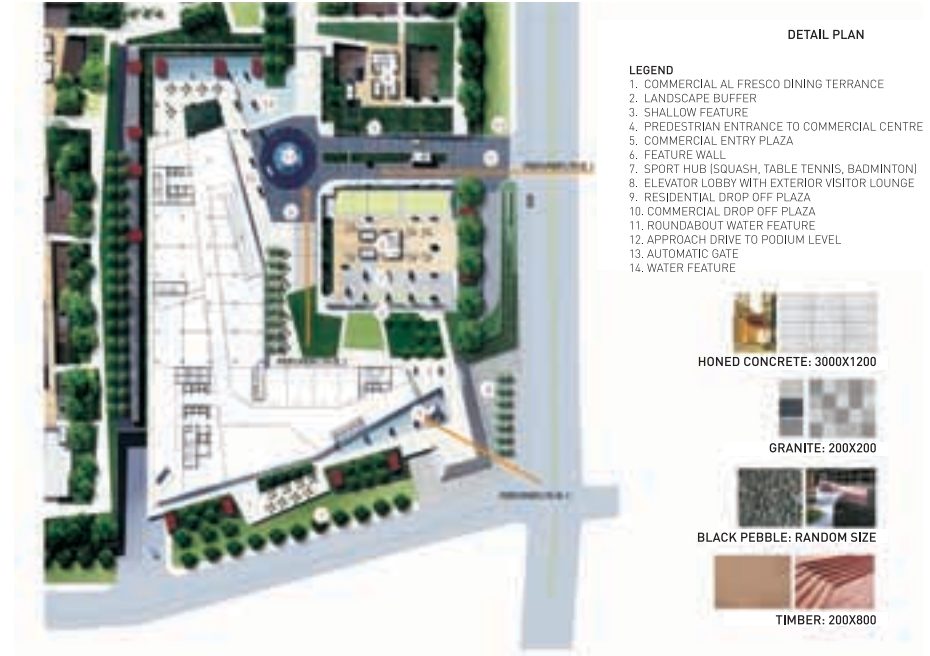
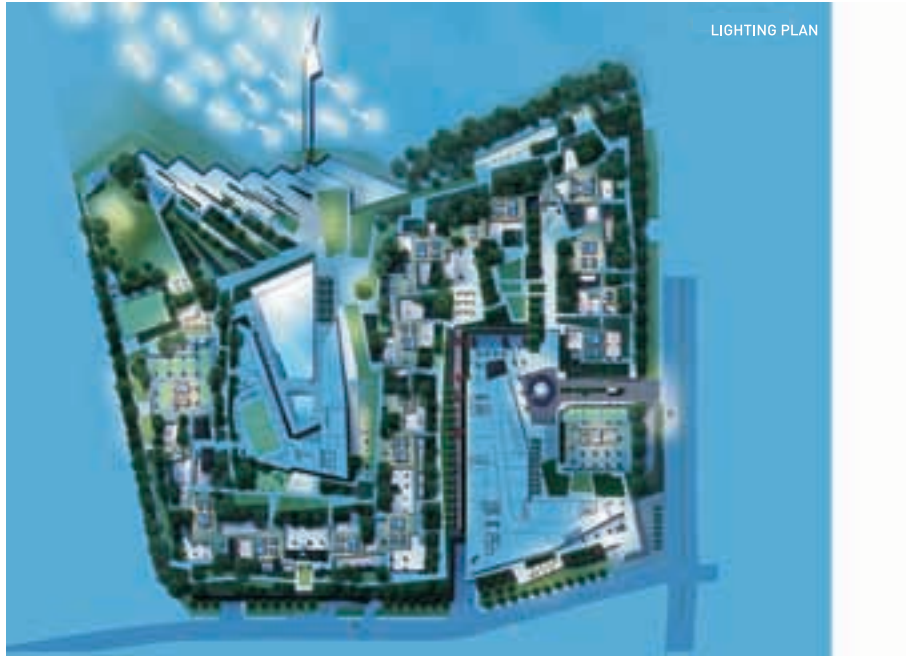


CSR INITIATIVE FOR TELLAPUR LAKE DEVELOPMENT



### UNMATCHED AMBIENCE

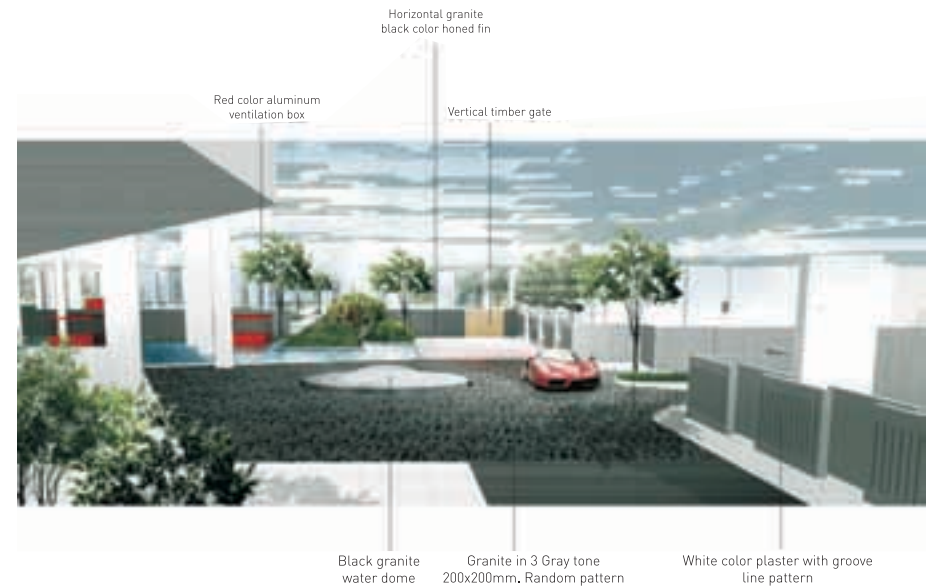
(Entire ground floor across the S-shape is 22 feet height with garden and water features)



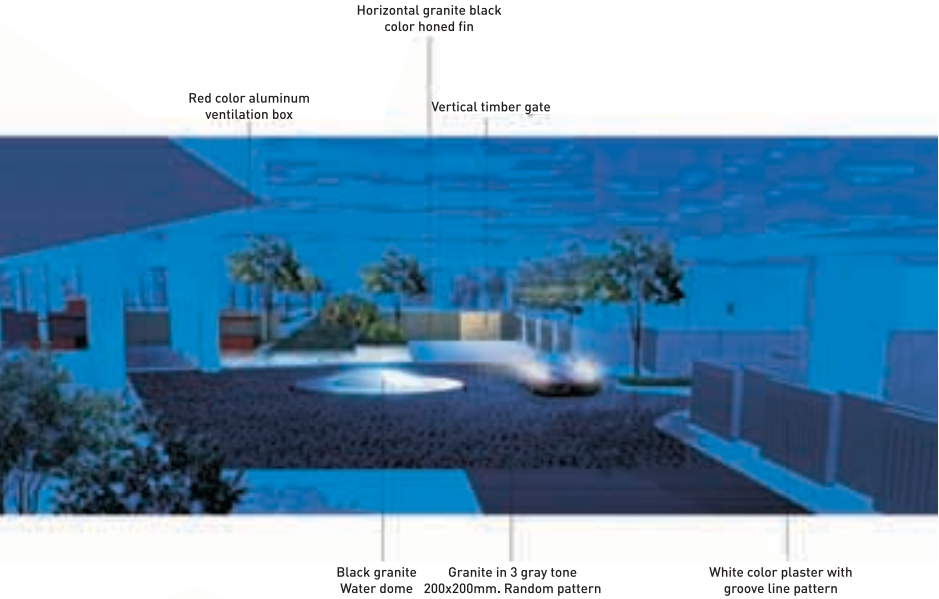
PRESPECTIVE 1 (Main entrance design)



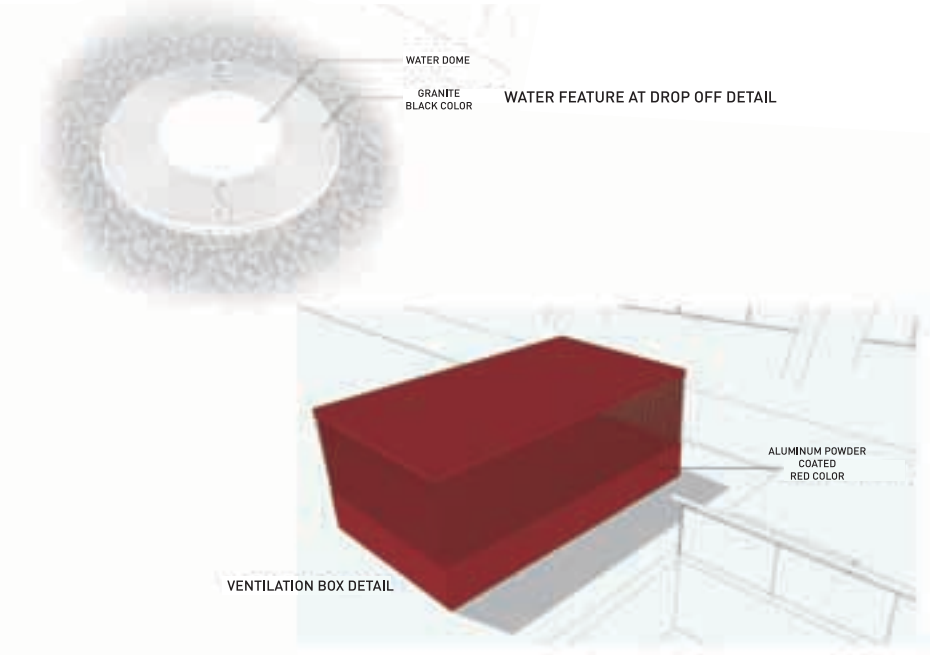
PERSPECTIVE 2 (Main entrance drop off)



PERSPECTIVE 2 (Main entrance drop off)

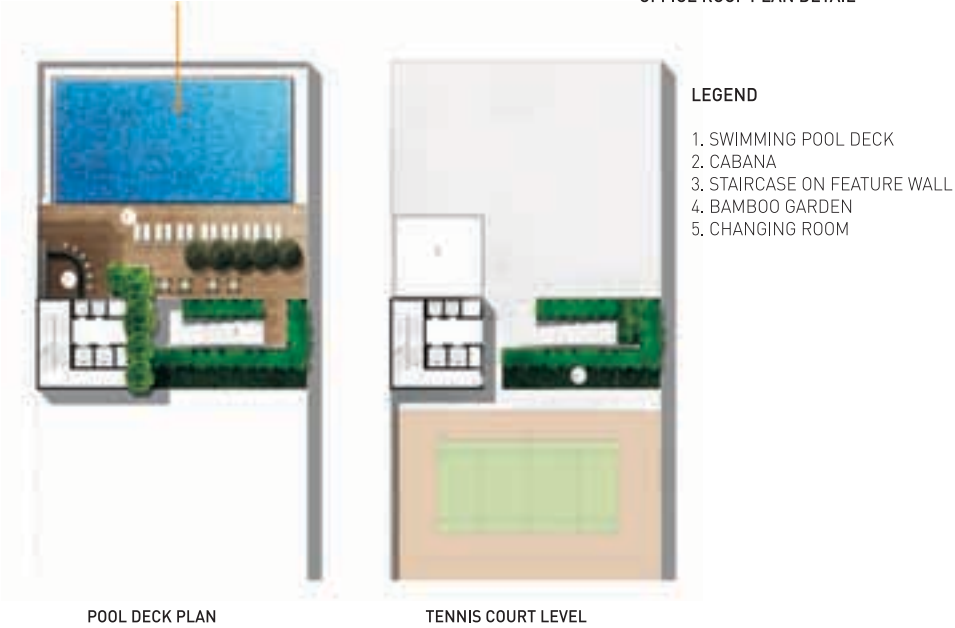


PERSPECTIVE 3 (alfresco at commercial area)

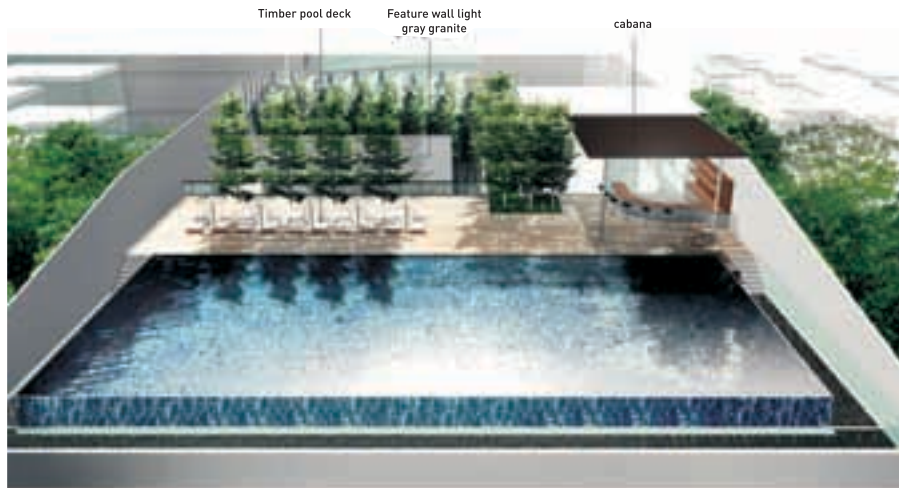


PERSPECTIVE 4

OFFICE ROOF PLAN DETAIL



PERSPECTIVE 2 (roof top design)



SECTION 3

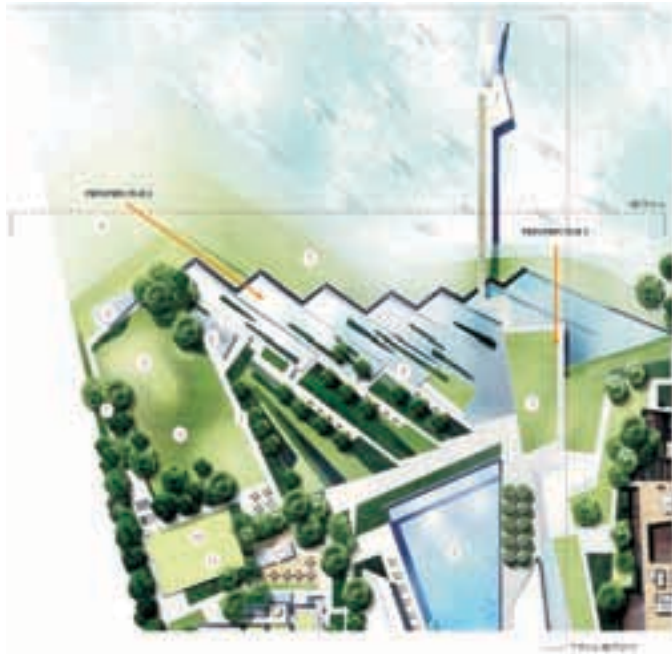


DETAIL PLAN

- LEGEND
1. POCK GARDEN
  2. LANDSCAPE BUFFER
  3. WATER FEATURE
  4. JOGGING COURSE (PERIMETER PATHWAY BOARDWALK)
  5. TOT LOT
  6. VIEWING TERRACE
  7. SHALLOW WATER FEATURE
  8. MAIN RESIDENTIAL PROMENADE
  9. PLAY GROUND
  10. MAIN RESIDENTIAL PLAZA
  11. MAIN RESIDENTIAL PLAZA
  12. SKATING AREA



PLAZA WITH GLASS GRATING DETAIL



#### DETAIL PLAN

- LEGEND**
1. VIEWING PAVILION
  2. AMPHITHEATER
  3. SWIMMING POOL
  4. CONSTRUCTED BIO-FILTRATION POND FOR STP OUTFLOW
  5. SLOPE TO LAKE
  6. PAVILION
  7. JOGGING COURSE (PERIMETER PATHWAY BOARDWALK)
  8. PUTTING GREEN
  9. PITCHING TEE AND GREEN
  10. SUNKEN CRICKET COURT
  11. SUNKEN DRIVING COURT
  12. BBQ PAVILION



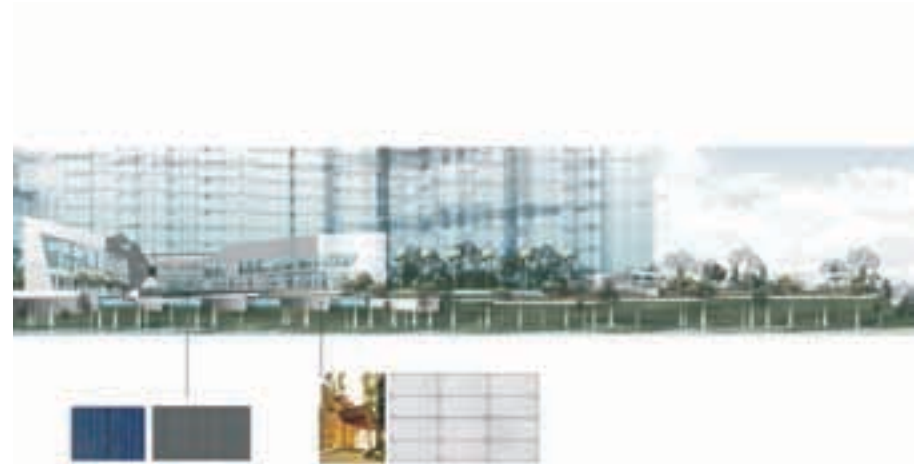
#### SECTION 5



YELLOW RASTIC GRANITE: 300x300  
300x600  
300x750

TILE MOSAIC: 20x20

#### SECTION 4



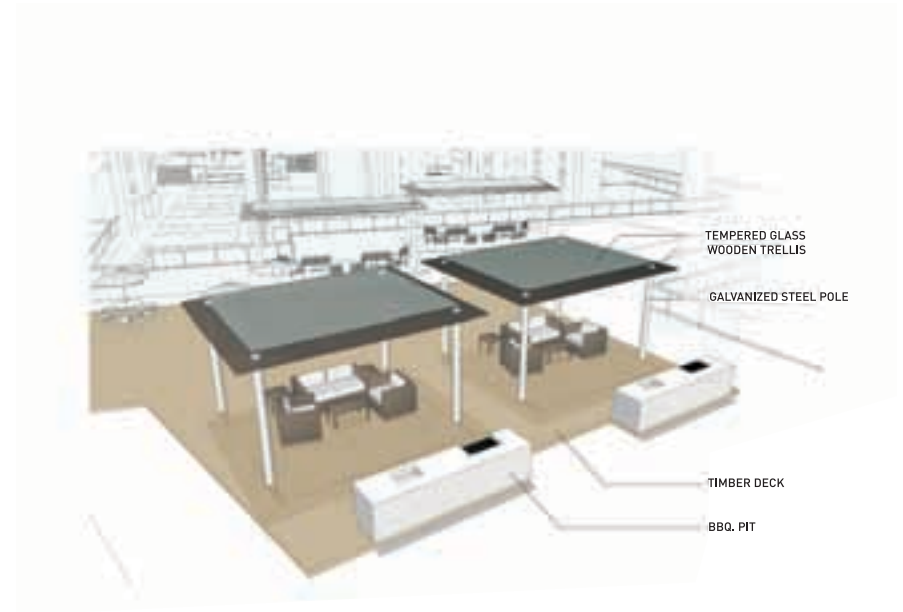
DARK GRANITE HONED FINISH: 150 x VARIES

HONED CONCRETE: 3000x1200

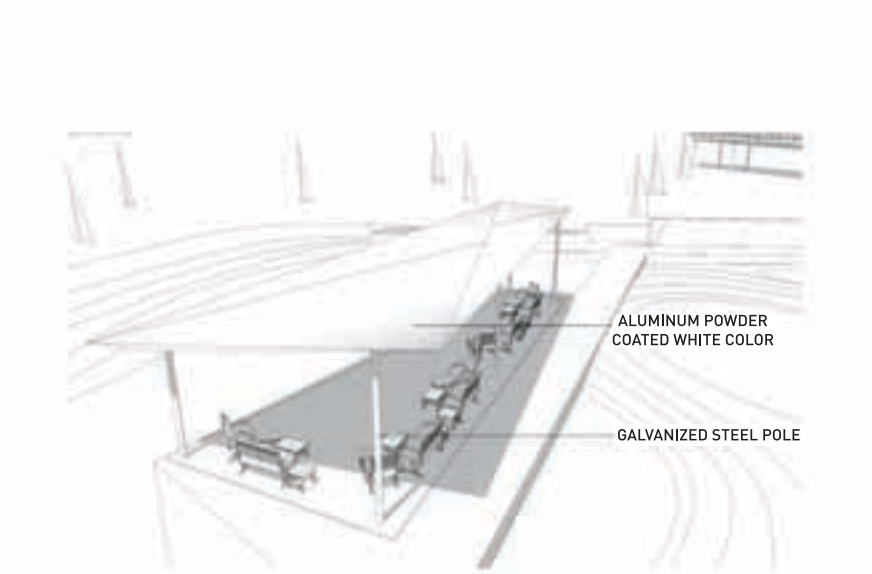
#### PERSPECTIVE 5 (view from water terraces toward clubhouse)



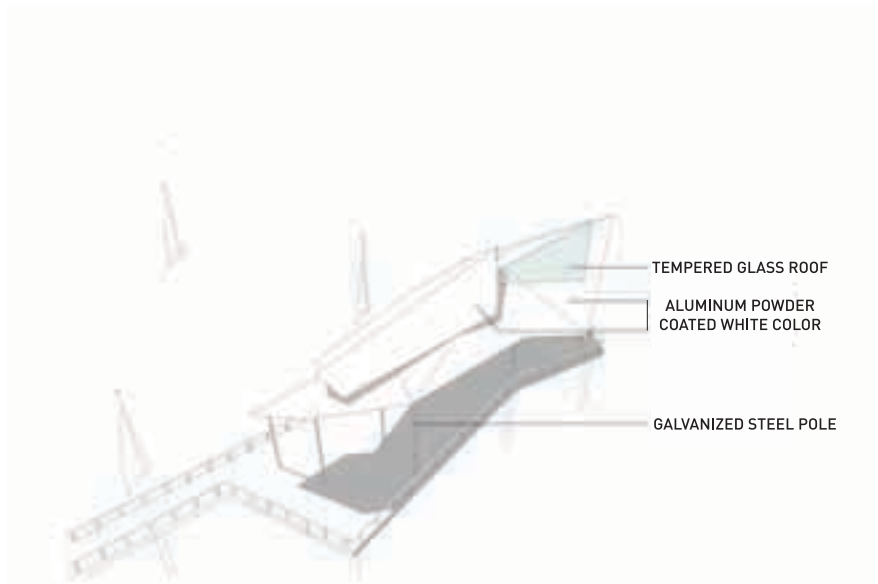
PERSPECTIVE 6 (Over all perspective)



BBQ. PAVILION DETAIL



PAVILION DETAIL



VIEWING PAVILION DETAIL

## DETAIL PLAN

### LEGEND

1. OUTDOOR DINING WITH SHADE
2. SPORT HUB (SQUASH, TABLE TENNIS, BADMINTON)
3. POCKET GARDEN
4. ELEVATOR LOBBY WITH EXTERIOR VISITOR LOUNGE
5. OUTDOOR ADULT FITNESS CLUSTER
6. SWIMMING POOL
7. SPA SEATING IN POOL
8. POOL DECK
9. CHILDREN'S POOL
10. WATER FEATURE
11. TIMBER DECK
12. CLUBHOUSE ENTRANCE COURT
13. PLAYGROUND
14. POCKET GARDEN

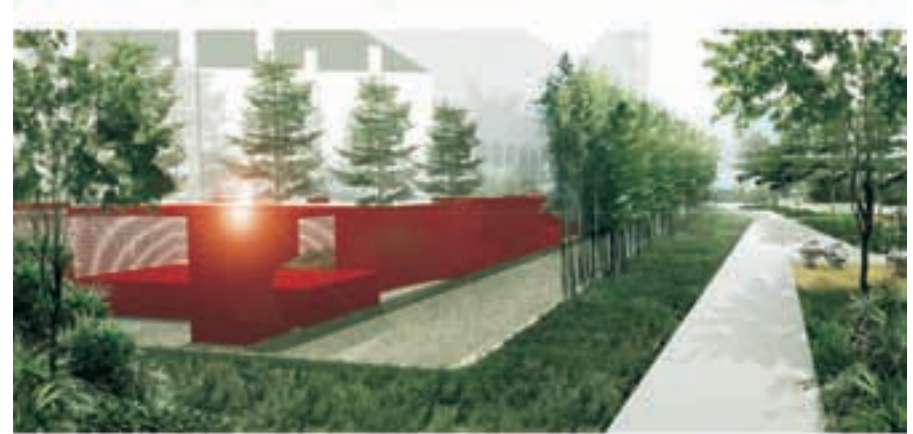
OFF-WHITE STONE: 200x600

BLACK PEBBLE: RANDOM SIZE

TIMBER: 200x800

TYPICAL SECTION 5

## PERSPECTIVE 7 (view from bamboo corridor)



## SECTION 6



BLACK PEBBLE: RANDOM SIZE



TILE MOSAIC: 20x20

## DETAIL PLAN

### LEGEND

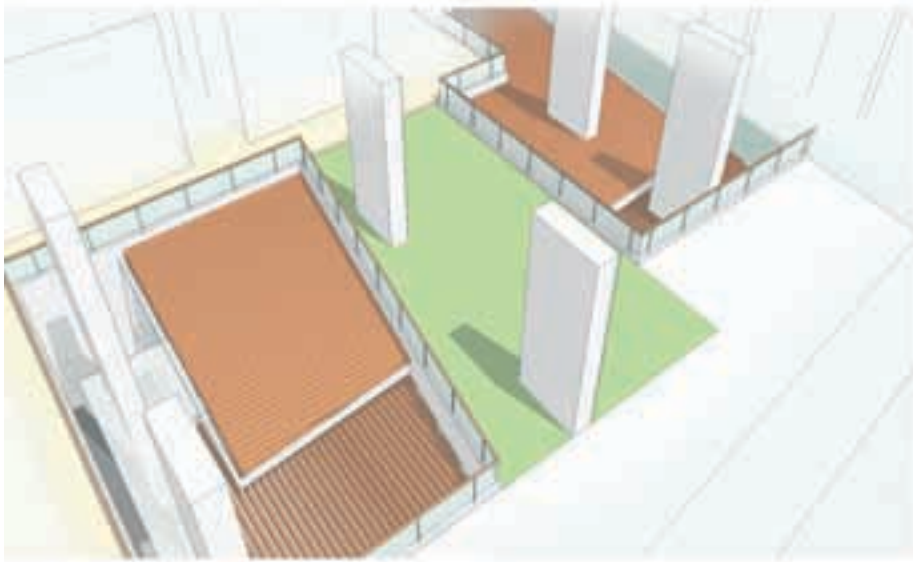
1. LANDSCAPE BUFFER
2. JOGGING COURSE (PERIMETER PATHWAY, BOARDWALK)
3. ELEVATOR LOBBY WITH EXTERIOR VISITOR LOUNGE
4. POCKET GARDEN
5. INDOOR GAMING
6. CLINIC
7. LAUNDERETTE



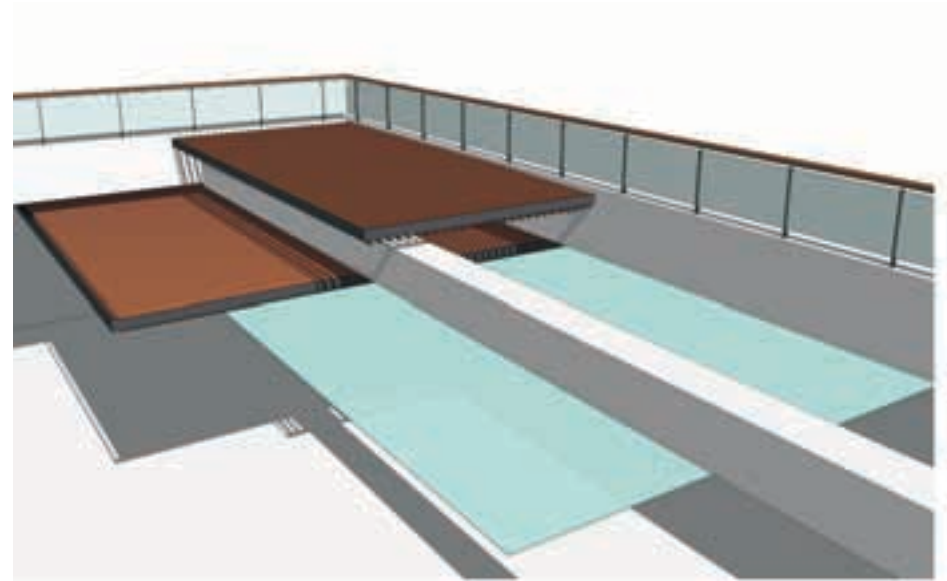
TIMBER

OFF-WHITE STONE: 200x600

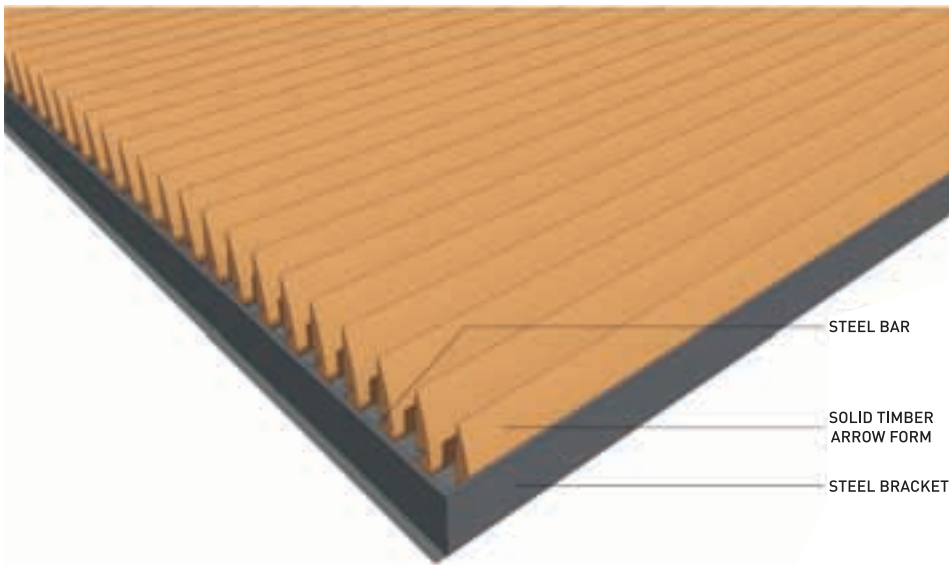




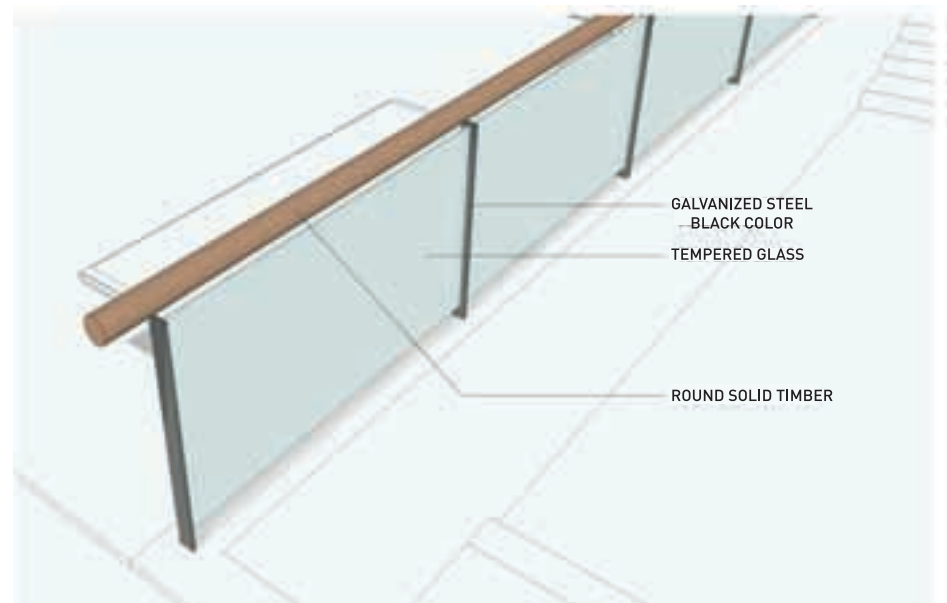
TRELLIS DETAIL



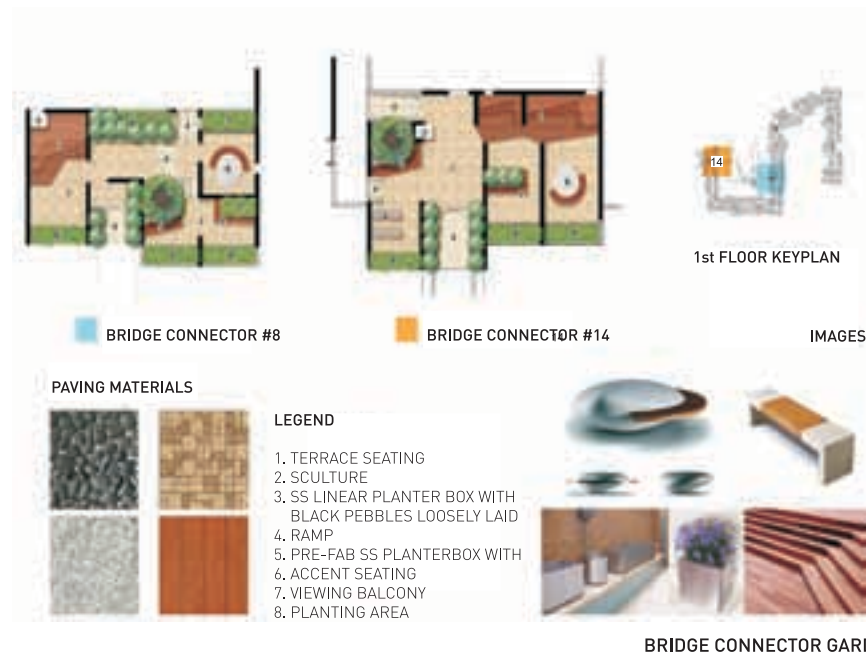
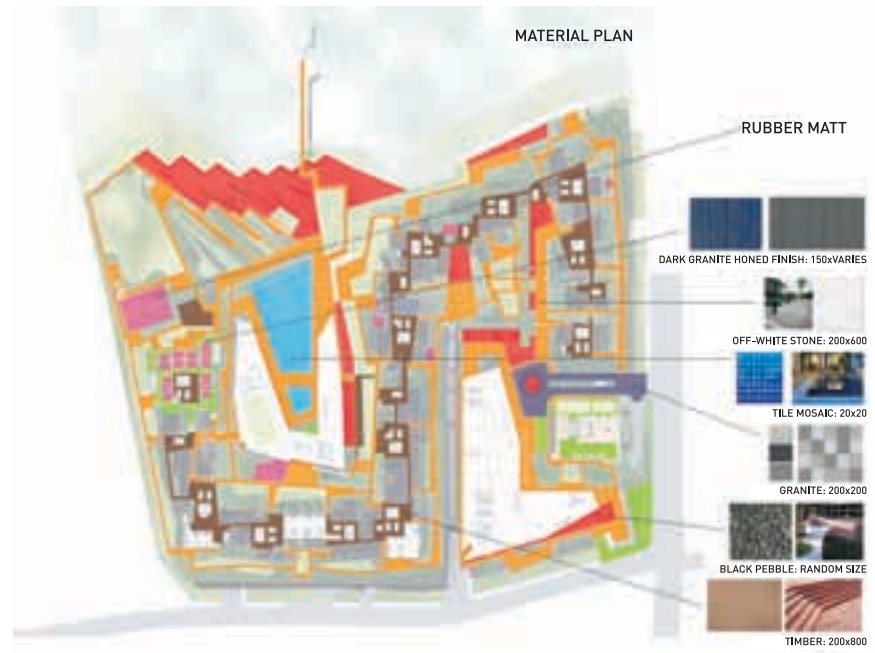
TRELLIS DETAIL



TRALLIS DETAIL



RAILING DETAIL





LIGHTING



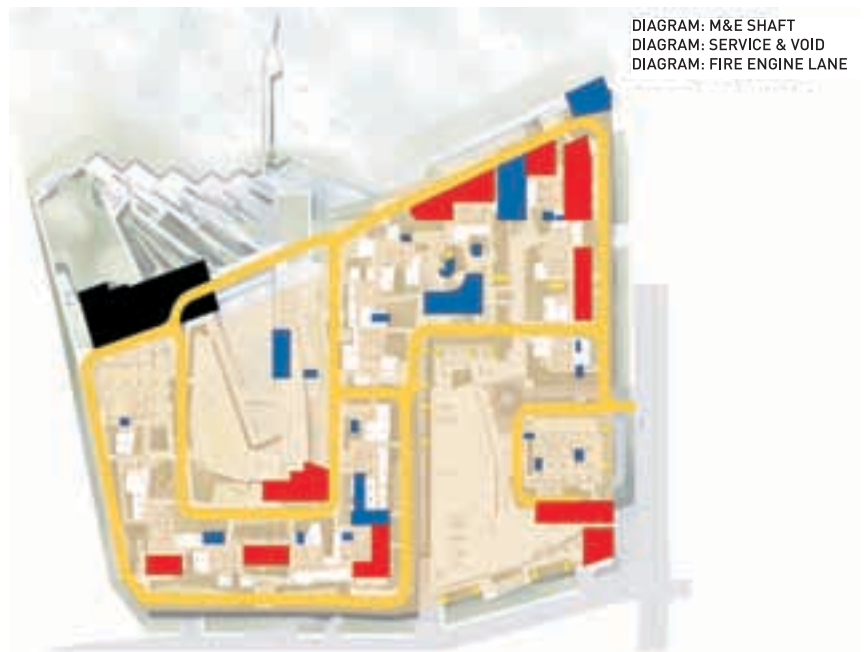
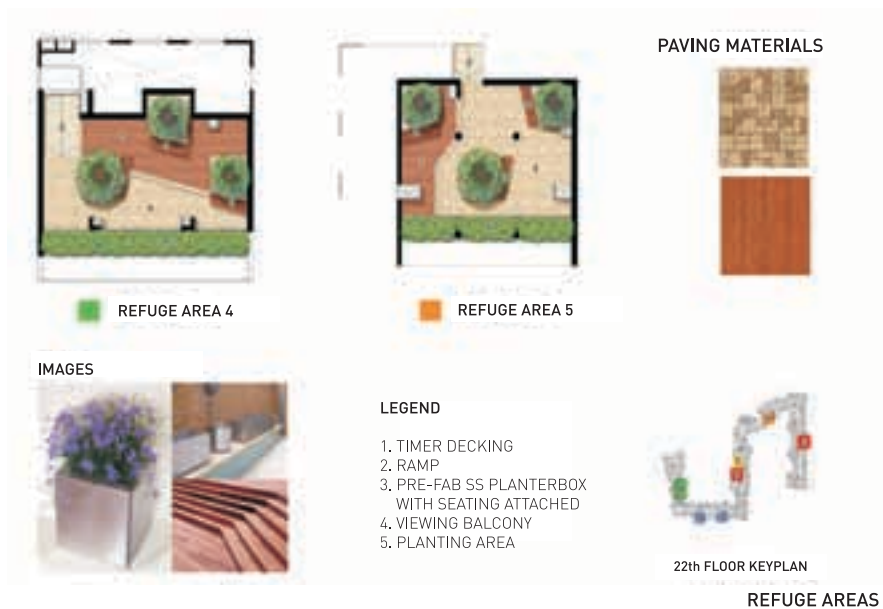
SCULPTURE



FURNITURE

# LANDSCAPE PLAN







Need to FIND US?  
Scan this QR code on  
your smartphone!

## STRUCTURAL ADVANTAGE

Aliens Space Station is a 30 floor high-rise apartment. Its S-shaped structure is significantly superior to a conventional building.

1. Geological advantage in terms of globe orientation i.e. any sudden deviation (even an earthquake or other seismic factors) will not affect the structure.
2. Space Station is structurally designed as per international norms.
3. Ventilation: The S-structure gives each apartment uniform air, light and ventilation from 3 sides.

## Main Elements in the Gigantic S-shape structure



**Raft Foundation:** Isolated footing uses individual foundation; this transfers the load to the earth. However, this type of foundation limits load and cannot withstand extra load (dead load/live load) as there are no links between individual footings. Raft foundation is a mass footing / foundation wherein a single mass takes the load and distributes it uniformly over a large area and to the earth. This type of foundation increases the life of the building.



**Transverse slab:** Normal slabs independently distribute load to beams and columns to transfer the load to the ground in a combination of vertical & horizontal direction. A transverse slab transfers any given load eccentricity from one location to another; instead of transferring the load directly to the ground at a single point, it horizontally distributes weight and gradually transfers it to the ground. As the structure above comprises of shear walls (RCC walls) load is transmitted through transverse slab & the load is then transferred to the ground. This also helps in having clear view without any hindrances like pillars.



**Formwork:** The structure is built on RCC (Reinforced cement concrete) formwork.



**Shear Wall:** A normal building consists of columns which are designed on concrete frame structure. High rise structures cannot withstand heavy winds and other external forces along with the dead load (building weight) and live load (people living in the building and things being used by them) which are acting continuously on it. A shear wall uniformly disperses wind pressure and gets a strong grip to the ground thus resisting any external force. Shear walls help in uniformly distributing wind and light in all directions.



**Interconnected Corridor:** Interconnected corridor of length 1.5 km (in each level) strengthens the structure of the building and gives connectivity in case of exigency.

## LIFT LOBBY





## CORRIDOR



## CORRIDOR-LOWER LEVEL



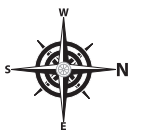
## CORRIDOR-BASEMENT







1. Driving Range & Putting Green
2. Amphitheater
3. Lake
4. Pistol Shooting Range & Cricket Practice Nets
5. Jogging / Bicycle Track
6. Natural Lake View
7. Mall & Multiplex
8. Clubhouse
9. Infinity Swimming Pool
10. Plaza
11. Terrace Swimming Pool & Tennis Courts
12. Landscape Area
13. Spa
14. Indoor Swimming Pool

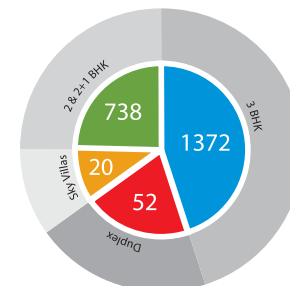


# LUXURY OF CHOOSING FROM **28** PLANS

## SPACE STATION FLOOR PLANS MIX

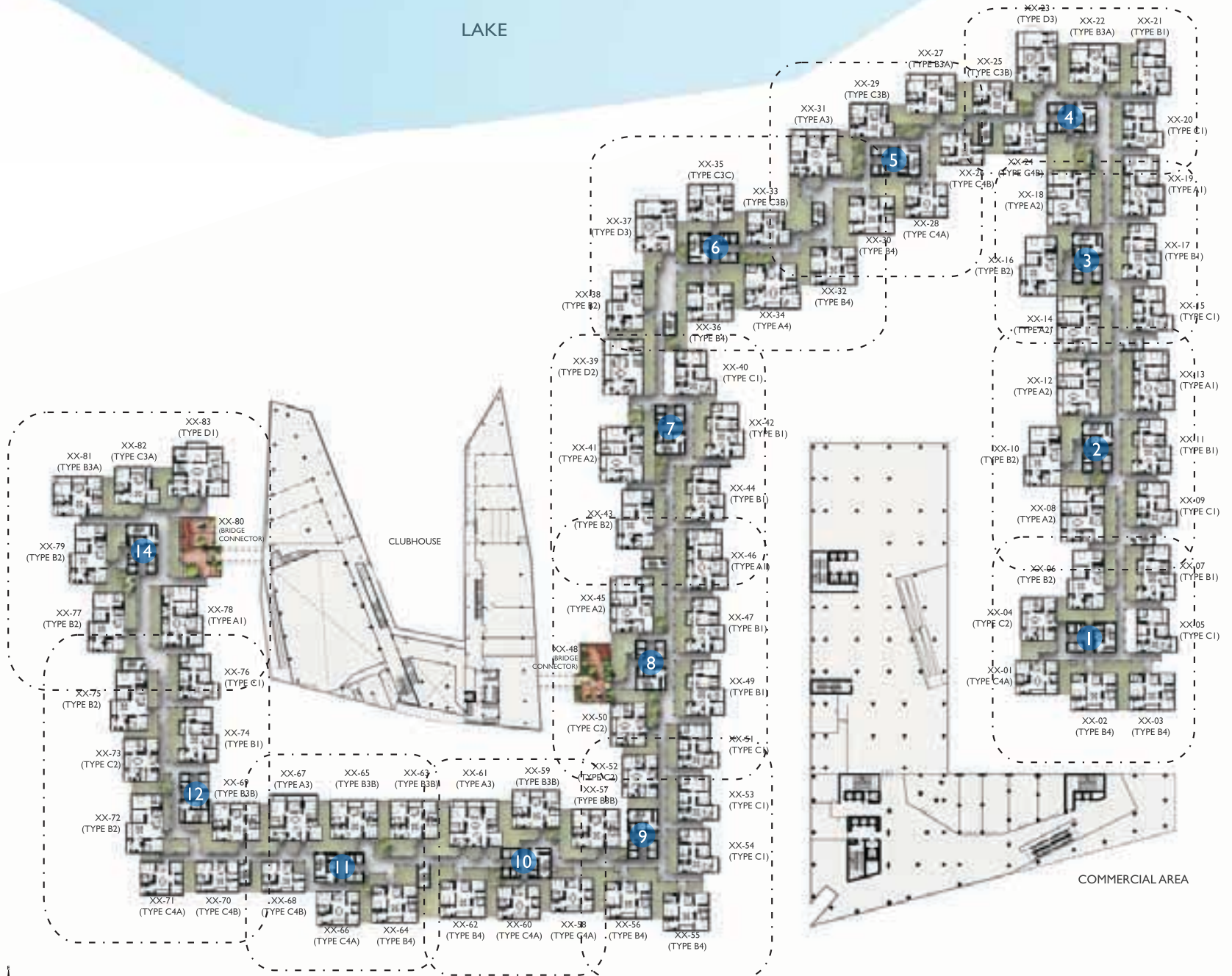
Total Area (Sft)	Type	Facing	Total Per Floor	Total of Type	Page No of Floor Plan
2 BHK					
1122	C-4B	West	4	110	122
1254	C-3B	East	3	82	123
1402	C-3A	East	1	28	124
Total 2 BHK Apartments			8	220	
2+1 BHK					
1344	C-4A	West	6	160	125
1412	C2	North	4	112	126
1432	C1	East	9	246	127
Total 2+1 BHK Apartments			19	518	
3 BHK					
1538	C-3C	East	1	28	128
1597	B4	West	9	236	129
1673	B-3B	East	5	126	130
1687	B1	East	9	248	131
1792	B-3A	East	3	74	132
1874	B2	North	10	265	133
2132	A3	East	3	74	134
2150	A1	East	5	131	135
2191	A2	East	6	162	136
2208	A4	West	1	28	137
Total 3 BHK Apartments			52	1372	

Total Area (Sft)	Type	Facing	Total Per Floor	Total of Type	Page No of Floor Plan
DUPLEX					
3569	D3	East	2	26	139
3924	D2	East	1	13	141
5036	D1	East	1	13	143
Total Duplex Apartments			4	52	
PENT HOUSES / SKY VILLAS					
4945	BP3B	East	5	5	147
5303	BP3A	East	3	3	150
5467	DP3	East	2	2	156
5783	BP2	North	2	2	159
5962	DP2	East	1	1	162
6371	AP1	East	1	1	165
6374	AP3	East	3	3	168
6434	AP2	East	2	2	171
7674	DP1	East	1	1	174
Total Pent Houses / Sky Villas Apartments			20	20	



Total Number of Apartments 2182

LAKE



LEVEL 1

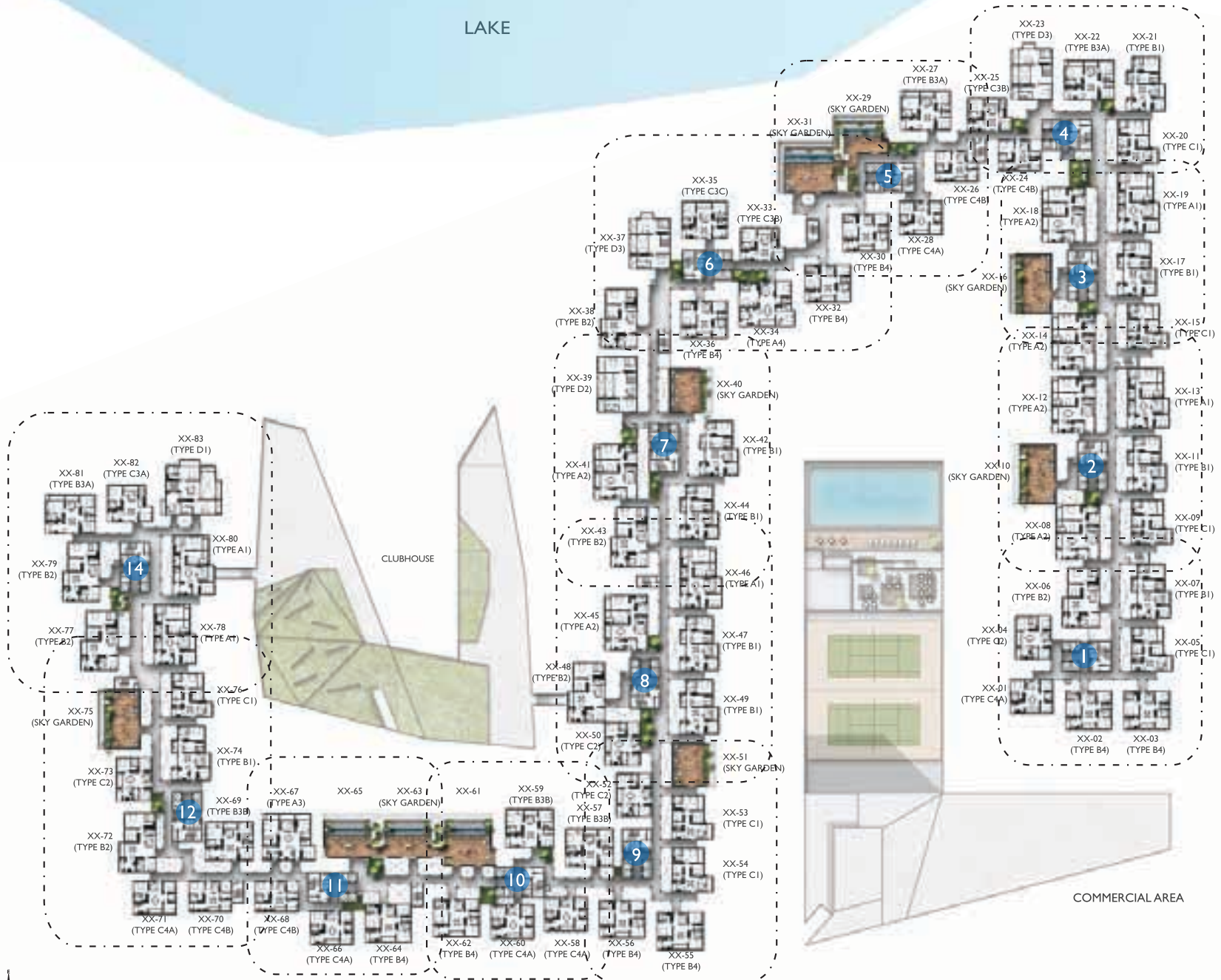


LAKE



LEVEL 7 & 8

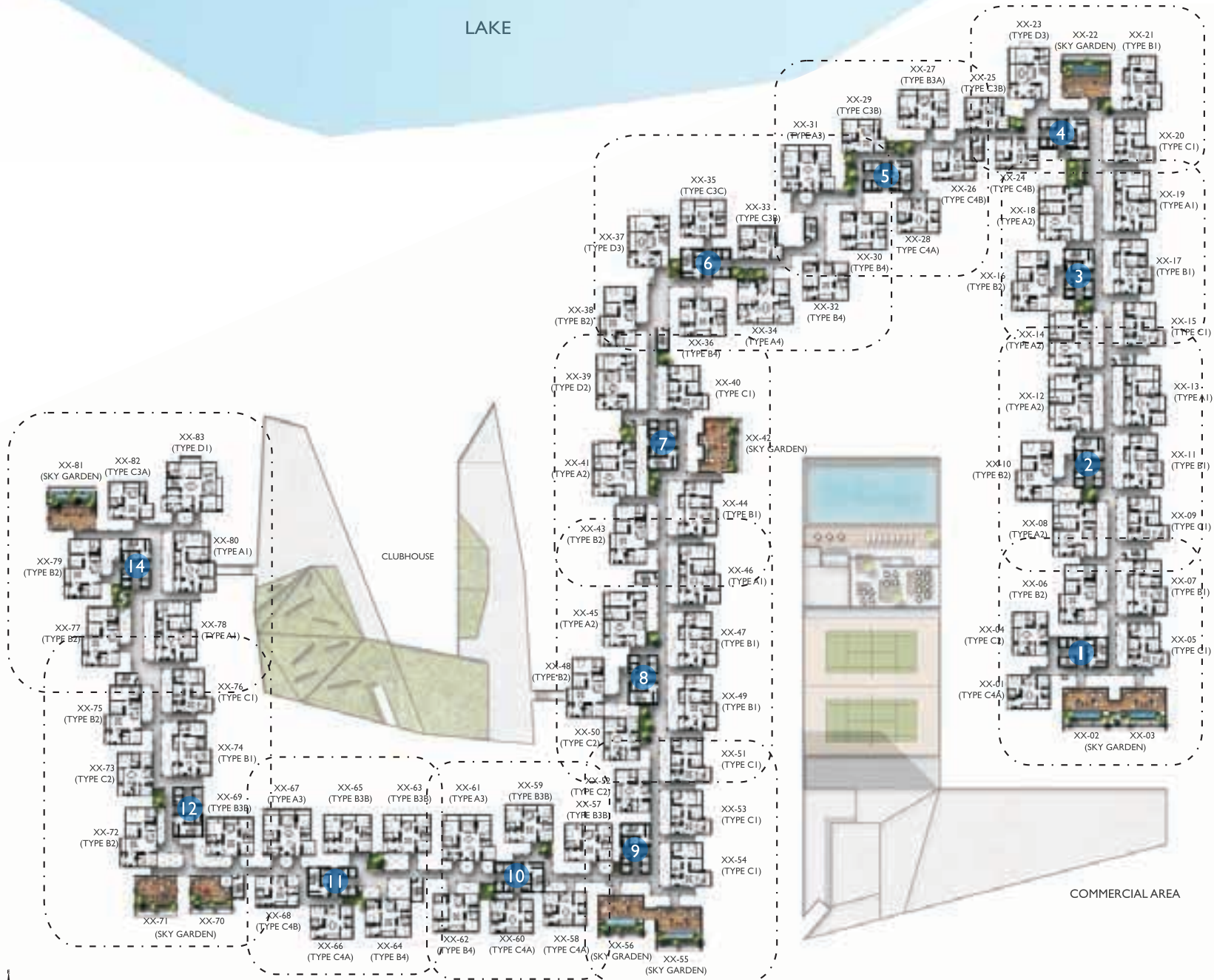
LAKE



LEVEL 12 & 13



LAKE



LEVEL 17 & 18



LAKE

XX-23 (TYPE D3)

XX-22 (TYPE B3A)

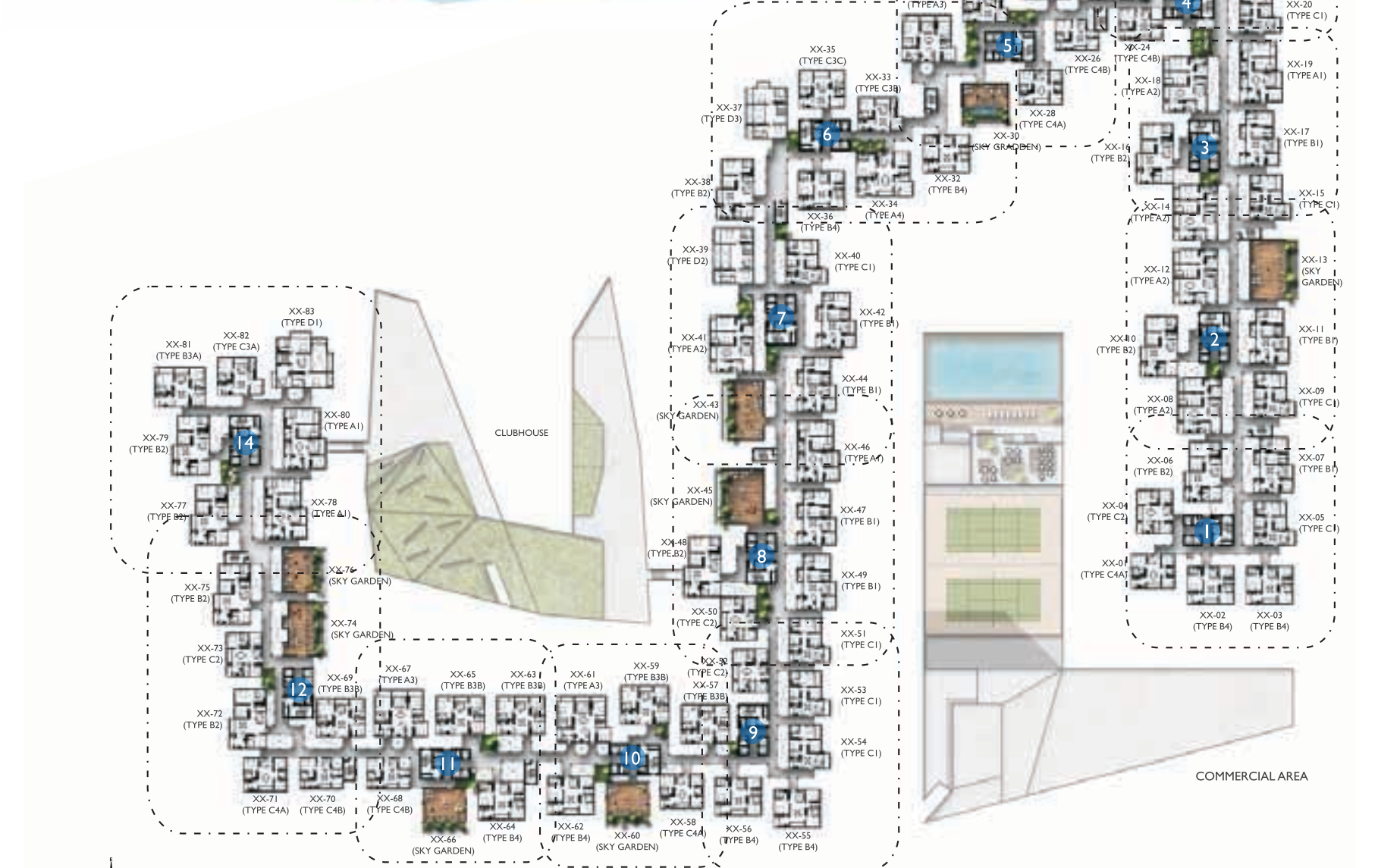
XX-21 (TYPE B1)

XX-27 (TYPE B3A)

XX-25 (TYPE C3B)

XX-29 (TYPE C3B)

XX-31



LEVEL 22 & 23







1.	LIVING & DINING ROOM	122' X 21'11"
2.	KITCHEN	6'1" X 11'9"
3.	MASTER BEDROOM	11'1" X 12'7"
4.	MASTER ENSUITE	6'5" X 7'5"
5.	WALK IN CLOSET	5'8" X 7'3"
6.	BEDROOM 2	9'6" X 9'6"
7.	COMMON TOILET	4'0" X 9'6"
8.	BALCONY 1	3'7" X 9'6"
9.	SERVICE AREA	3'3" X 6'11"



2 BHK | TYPE - C4B | SIZE - 1122 SQ FT | WEST FACING



- |     |                      |                |
|-----|----------------------|----------------|
| 1.  | LIVING & DINING ROOM | 125' X 22'1"   |
| 2.  | KITCHEN              | 8'4" X 10'6"   |
| 3.  | MASTER BEDROOM       | 11'2" X 13'1"  |
| 4.  | MASTER ENSUITE       | 6'2" X 7'11"   |
| 5.  | WALK IN CLOSET       | 4'9" X 6'6"    |
| 6.  | BEDROOM 2            | 10'3" X 10'10" |
| 7.  | BEDROOM ENSUITE      | 4'8" X 9'11"   |
| 8.  | WALK IN CLOSET 2     | 5'2" X 5'11"   |
| 9.  | BALCONY 1            | 4'11" X 12'3"  |
| 10. | SERVICE AREA         | 3'10" X 8'6"   |



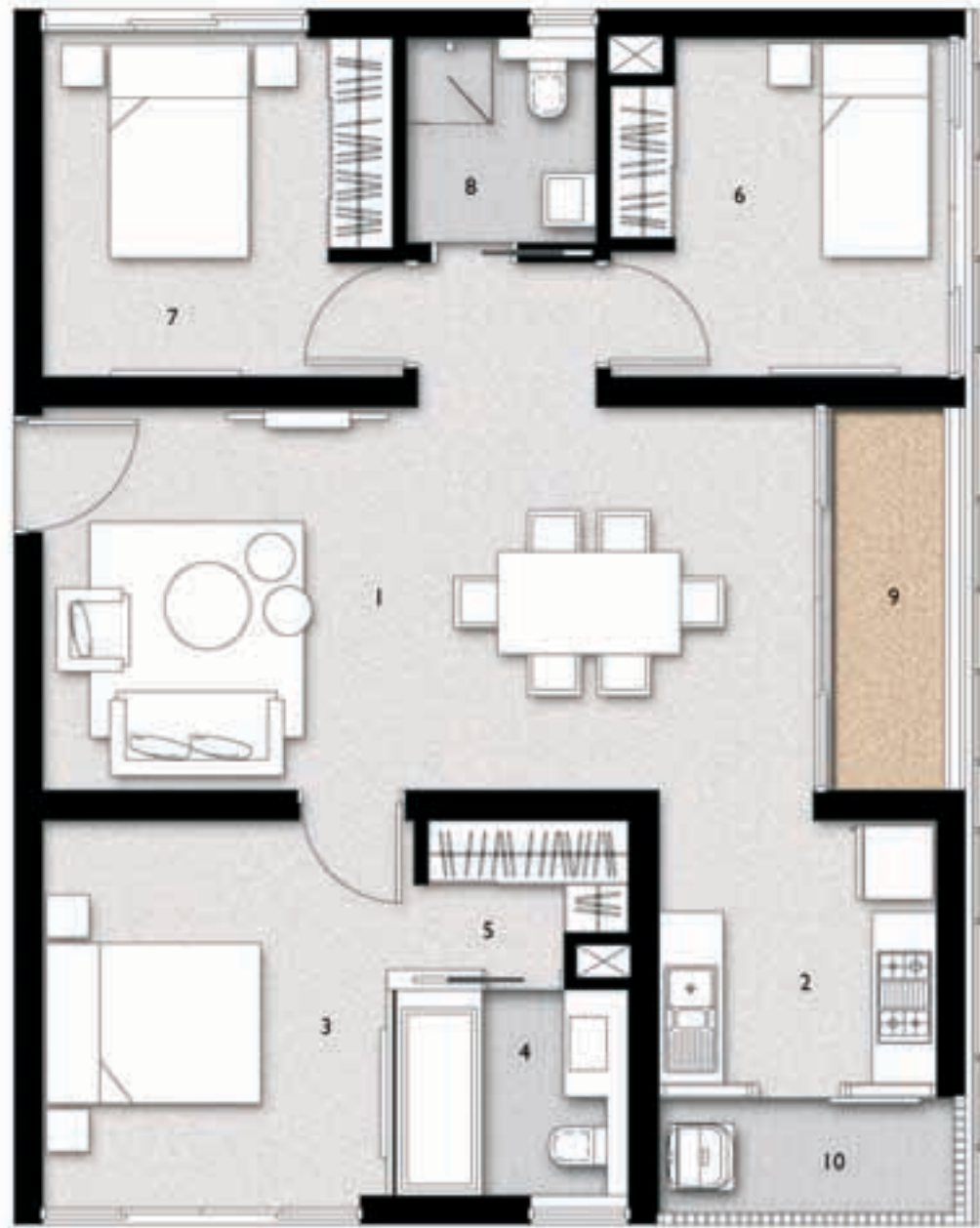
2 BHK | TYPE - C3B | SIZE - 1254 SQ FT | EAST FACING



1.	LIVING & DINING ROOM	12'8" X 25'4"
2.	KITCHEN	9'2" X 9'8"
3.	MASTER BEDROOM	12'9" X 12'10"
4.	MASTER ENSUITE	7'1" X 7'5"
5.	WALK IN CLOSET	4'11" X 7'5"
6.	BEDROOM 2	11'0" X 11'9"
7.	BEDROOM ENSUITE	4'10" X 11'7"
8.	WALK IN CLOSET	5'4" X 6'8"
9.	BALCONY 1	4'11" X 12'8"
10.	SERVICE AREA	4'1" X 10'0"



2 BHK | TYPE - C3A | SIZE - 1402 SQ FT | EAST FACING



1.	LIVING & DINING ROOM	11'10" X 23'9"
2.	KITCHEN	8'7" X 8'2"
3.	MASTER BEDROOM	10'8" X 11'11"
4.	MASTER ENSUITE	4'5" X 7'5"
5.	WALK IN CLOSET	4'8" X 6'7"
6.	BEDROOM 2	10'5" X 10'6"
7.	BEDROOM 3	10'8" X 11'2"
8.	COMMON TOILET	3'11" X 6'5"
9.	BALCONY	4'1" X 11'10"
10.	SERVICE AREA	3'11" X 9'5"



2+1 BHK | TYPE - C4A | SIZE - 1344 SQ FT | WEST FACING



1.	LIVING & DINING ROOM	12'2" X 24'9"
2.	KITCHEN	7'11" X 10'9"
3.	MASTER BEDROOM	10'9" X 12'2"
4.	MASTER ENSUITE	6'9" X 7'9"
5.	WALK IN CLOSET	4'10" X 7'9"
6.	BEDROOM 2	12'1" X 10'4"
7.	BEDROOM 3	10'2" X 10'4"
8.	COMMON TOILET	5'9" X 9'10"
9.	BALCONY 1	4'5" X 12'2"
10.	SERVICE AREA	4'5" X 10'8"



2+1 BHK | TYPE - C2 | SIZE - 1412 SQ FT | NORTH FACING

- |     |                      |              |
|-----|----------------------|--------------|
| 1.  | LIVING & DINING ROOM | 123' X 184'  |
| 2.  | KITCHEN              | 71' X 81'    |
| 3.  | MASTER BEDROOM       | 122' X 124'  |
| 4.  | MASTER ENCLITE       | 67' X 88'    |
| 5.  | WALK IN CLOSET       | 31' X 88'    |
| 6.  | BEDROOM 2            | 1010' X 112' |
| 7.  | BEDROOM 3            | 94' X 100'   |
| 8.  | COMMON TOILET        | 59' X 711'   |
| 9.  | BALCONY 1            | 411' X 122'  |
| 10. | BALCONY 2            | 411' X 133'  |
| 11. | SERVICE AREA         | 3'8" X 8'1"  |



2+1 BHK | TYPE - C1 | SIZE - 1432 SQ FT | EAST FACING



1.	LIVING & DINING ROOM	13'0" X 25'6"
2.	KITCHEN	9'0" X 9'2"
3.	MASTER BEDROOM	11'2" X 12'10"
4.	MASTER ENSUITE	6'2" X 7'5"
5.	WALK IN CLOSET	4'8" X 7'5"
6.	BEDROOM 2	9'6" X 11'11"
7.	BEDROOM 3	10'2" X 12'1"
8.	BEDROOM ENSUITE	4'11" X 7'0"
9.	COMMON TOILET	4'8" X 7'8"
10.	WALK IN CLOSET 2	4'5" X 5'3"
11.	BALCONY 1	4'11" X 13'0"
12.	SERVICE AREA	3'5" X 10'0"



3 BHK | TYPE - C3C | SIZE - 1538 SQ FT | EAST FACING



1.	LIVING & DINING ROOM	26'7" X 12'
2.	KITCHEN	9'6" X 8'10"
3.	MASTER BEDROOM	13'1" X 12'8"
4.	MASTER EN-SUITE	8'11" X 7'5"
5.	WALK IN CLOSET	7'3" X 4'7"
6.	BEDROOM 1	9'9" X 12'4"
7.	BEDROOM 2	10'7" X 12'4"
8.	BEDROOM EN-SUITE	5'5" X 7'3"
9.	COMMON TOILET	4'8" X 7'10"
10.	WALK IN CLOSET 1	5'3" X 4'9"
11.	BALCONY 1	4'5" X 12'
12.	SERVICE AREA	10'4" X 3'11"



3 BHK | TYPE - B4 | SIZE - 1597 SQ FT | WEST FACING



1.	LIVING & DINING ROOM	24'5" X 11'3"
2.	KITCHEN	10' X 10'8"
3.	MASTER BEDROOM	14'1" X 14'3"
4.	MASTER ENSUITE	6' X 8'5"
5.	WALK IN CLOSET	6'10" X 5'5"
6.	BEDROOM 2	9'7" X 12'4"
7.	BEDROOM 3	10'3" X 12'6"
8.	BEDROOM ENSUITE	5'5" X 7'5"
9.	COMMON TOILET	5'1" X 8'5"
10.	WALK IN CLOSET 2	4'7" X 5'9"
11.	BALCONY 1	4'11" X 11'6"
12.	SERVICE AREA	10'2" X 3'11"



3 BHK | TYPE - B3B | SIZE - 1673 SQ FT | EAST FACING



3 BHK TYPE - B1 | SIZE - 1687 SQ FT | EAST FACING

- |     |                      |                |
|-----|----------------------|----------------|
| 1.  | LIVING & DINING ROOM | 27'4" X 11'10" |
| 2.  | KITCHEN              | 9'8" X 12'8"   |
| 3.  | MASTER BEDROOM       | 10'6" X 13'4"  |
| 4.  | MASTER ENCLITE       | 6' X 9'2"      |
| 5.  | WALK IN CLOSET       | 6'8" X 5'8"    |
| 6.  | BEDROOM 3            | 10'4" X 12'8"  |
| 7.  | BEDROOM 3            | 9'10" X 12'10" |
| 8.  | BEDROOM ENCLITE      | 5'10" X 7'7"   |
| 9.  | COMMON/TOILET        | 5'3" X 7'7"    |
| 10. | WALK IN CLOSET 2     | 4'7" X 8'2"    |
| 11. | BALCONY 1            | 4'11" X 12'10" |
| 12. | BALCONY 2            | 4'11" X 11'10" |
| 13. | SERVICE AREA         | 10'2" X 3'11"  |



3 BHK | TYPE - B3A | SIZE - 1792 SQ FT | EAST FACING



1.	LIVING ROOM	18'3" X 13'0"
2.	DINING ROOM	12'0" X 12'9"
3.	KITCHEN	12'8" X 9'4"
4.	MASTER BEDROOM	12'6" X 14'6"
5.	MASTER ENCLAVE	7'3" X 9'3"
6.	WALK IN CLOSET	9'3" X 4'9"
7.	BEDROOM 2	11'10" X 10'
8.	BEDROOM 3	11'2" X 12'0"
9.	BEDROOM ENCLAVE	6'7" X 6'3"
10.	COMMON TOILET	5'3" X 8'10"
11.	WALK IN CLOSET 2	6'7" X 4'9"
12.	BALCONY 1	12'10" X 4'7"
13.	SERVICE AREA	12'8" X 3'11"



3 BHK | TYPE - B2 | SIZE - 1874 SQ FT | NORTH FACING



- |     |                      |                |
|-----|----------------------|----------------|
| 1.  | LIVING & DINING ROOM | 22'8" X 12'10" |
| 2.  | KITCHEN              | 10'11" X 11'6" |
| 3.  | MASTER BEDROOM       | 13' X 13'5"    |
| 4.  | MASTER ENSUITE       | 8'10" X 7'10"  |
| 5.  | WALK IN CLOSET       | 6'11" X 5'1"   |
| 6.  | BEDROOM 2            | 10'7" X 12'6"  |
| 7.  | BEDROOM 3            | 11'9" X 12'0"  |
| 8.  | MAID'S BEDROOM       | 6' X 6'1"      |
| 9.  | BEDROOM ENSUITE      | 4'9" X 8'6"    |
| 10. | COMMON TOILET        | 4'10" X 8'4"   |
| 11. | MAID'S TOILET        | 3'3" X 6'0"    |
| 12. | BALCONY 1            | 4'11" X 11'2"  |
| 13. | BALCONY 2            | 4'11" X 12'6"  |
| 14. | BALCONY 3            | 4'11" X 12'10" |
| 15. | SERVICE AREA         | 4'3" X 11'9"   |



3 BHK | TYPE - A3 | SIZE - 2132 SQ FT | EAST FACING



- |     |                      |                 |
|-----|----------------------|-----------------|
| 1.  | LIVING & DINING ROOM | 131'1" X 276"   |
| 2.  | KITCHEN              | 117'0" X 91'0"  |
| 3.  | MASTER BEDROOM       | 122'2" X 144"   |
| 4.  | MASTER ENSUITE       | 71'0" X 103"    |
| 5.  | WALK IN CLOSET       | 59'0" X 71'1"   |
| 6.  | BEDROOM 2            | 117'0" X 117'   |
| 7.  | BEDROOM 3            | 107'0" X 127'0" |
| 8.  | MAID'S BEDROOM       | 59'0" X 77"     |
| 9.  | BEDROOM ENSUITE      | 35'0" X 77"     |
| 10. | COMMON TOILET        | 57'0" X 98"     |
| 11. | MAID'S TOILET        | 33'0" X 59"     |
| 12. | BALCONY 1            | 411'0" X 91'0"  |
| 13. | BALCONY 2            | 411'0" X 41"    |
| 14. | BALCONY 3            | 411'0" X 131"   |
| 15. | SERVICE AREA         | 62'0" X 11'10"  |



3 BHK | TYPE - A1 | SIZE - 2150 SQ FT | EAST FACING



- |     |                      |               |
|-----|----------------------|---------------|
| 1.  | LIVING & DINING ROOM | 11'4" X 30'9" |
| 2.  | KITCHEN              | 8'10" X 10'7" |
| 3.  | MASTER BEDROOM       | 12'1" X 15'1" |
| 4.  | MASTER ENSUITE       | 10' X 6'3"    |
| 5.  | WALK IN CLOSET       | 6'5" X 4'11"  |
| 6.  | BEDROOM 2            | 11'0" X 13'6" |
| 7.  | BEDROOM 3            | 9'10" X 10'6" |
| 8.  | MAID'S BEDROOM       | 9'5" X 8'3"   |
| 9.  | BEDROOM ENSUITE      | 5'5" X 7'0"   |
| 10. | COMMON TOILET        | 4'11" X 10'   |
| 11. | MAID'S TOILET        | 3'3" X 5'5"   |
| 12. | BALCONY 1            | 4'11" X 9'10" |
| 13. | BALCONY 2            | 4'11" X 5'3"  |
| 14. | BALCONY 3            | 4'11" X 11'6" |
| 15. | SERVICE AREA         | 5'0" X 9'9"   |
| 16. | FOYER                | 9'9" X 8'2"   |

3 BHK | TYPE - A2 | SIZE - 2191 SQ FT | EAST FACING

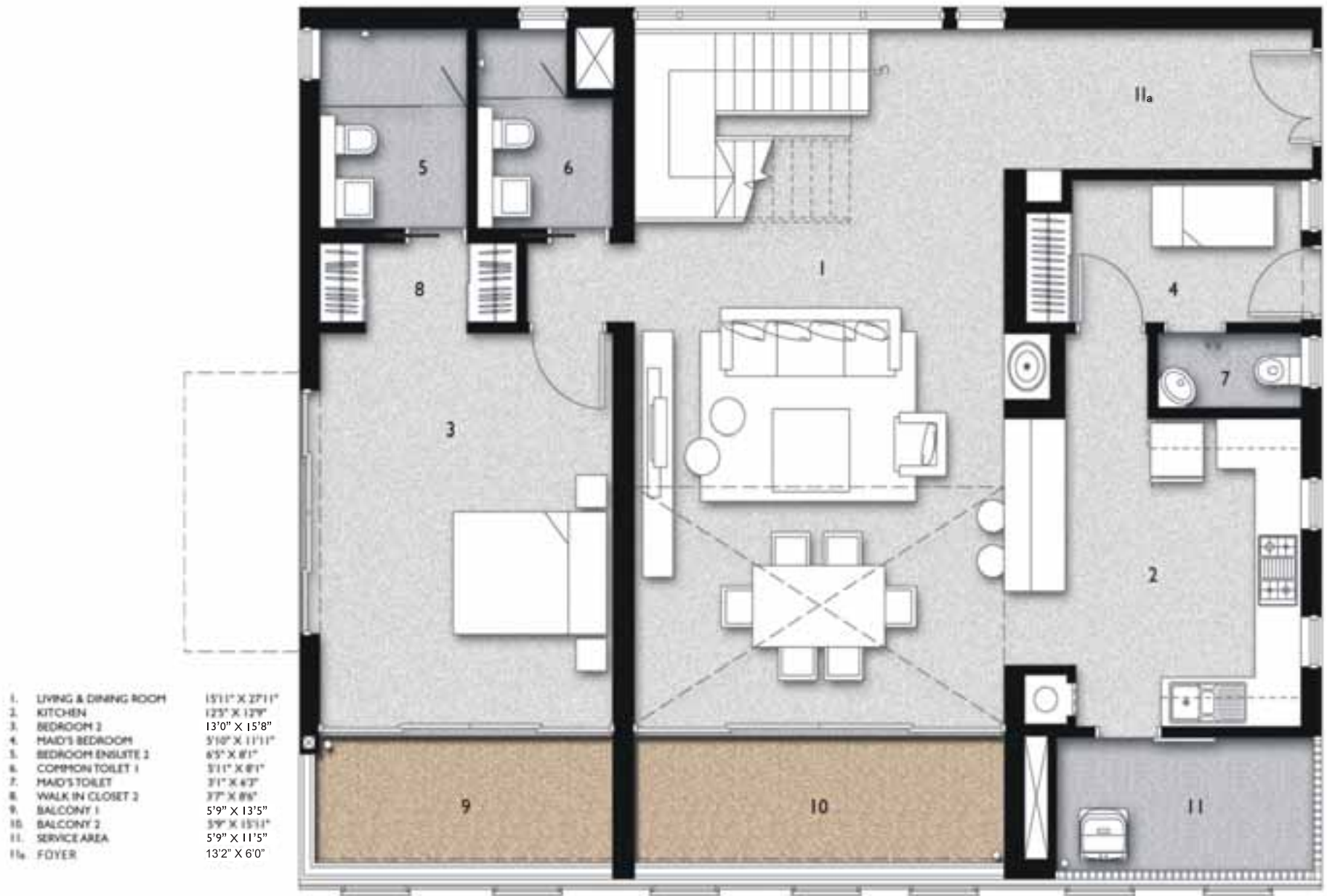


- |     |                      |                |
|-----|----------------------|----------------|
| 1.  | LIVING & DINING ROOM | 32'2" X 13'    |
| 2.  | KITCHEN              | 8'2" X 14'11"  |
| 3.  | MASTER BEDROOM       | 14'2" X 16'5"  |
| 4.  | MASTER ENSUITE       | 6'6" X 9'4"    |
| 5.  | WALK IN CLOSET       | 6'10" X 6'7"   |
| 6.  | BEDROOM 2            | 12'6" X 15'9"  |
| 7.  | BEDROOM 3            | 12'8" X 13'10" |
| 8.  | MAID'S BEDROOM       | 6'1" X 7'10"   |
| 9.  | BEDROOM ENSUITE      | 5'1" X 8'0"    |
| 10. | COMMON TOILET        | 5'1" X 8'0"    |
| 11. | MAID'S TOILET        | 3'3" X 6'5"    |
| 12. | BALCONY 1            | 4'11" X 13'0"  |
| 13. | SERVICE AREA         | 5'9" X 7'5"    |



3 BHK | TYPE - A4 | SIZE - 2208 SQ FT | WEST FACING





TYPE - D3 | GROUND FLOOR | SIZE - 3569 SQ FT | EAST FACING | 3 BHK



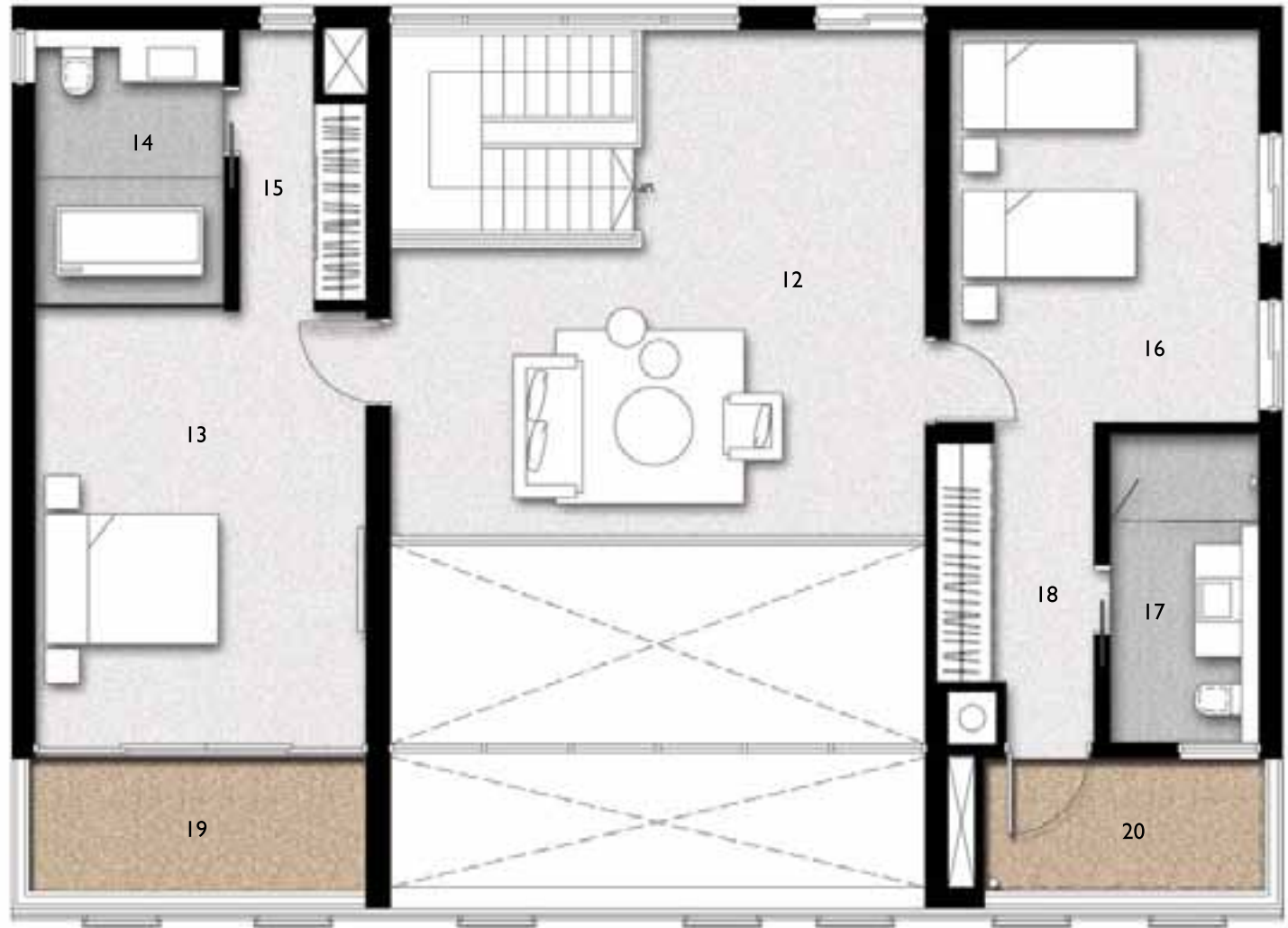
TYPE - D3 | FIRST FLOOR | SIZE - 3569 SQ FT | EAST FACING | 3 BHK



- |                         |                |
|-------------------------|----------------|
| 1. LIVING & DINING ROOM | 20'4" X 26'11" |
| 2. KITCHEN              | 11'7" X 12'8"  |
| 3. BEDROOM 1            | 12'8" X 14'10" |
| 4. MAID'S BEDROOM       | 5'10" X 11'10" |
| 5. BEDROOM ENSUITE 2    | 6'5" X 8'10"   |
| 6. COMMON TOILET 1      | 3'11" X 8'1"   |
| 7. WALK IN CLOSET 1     | 3'7" X 8'6"    |
| 8. MAID'S TOILET        | 3'1" X 6'5"    |
| 9. BALCONY 1            | 5'9" X 13'5"   |
| 10. BALCONY 2           | 3'9" X 20'4"   |
| 11. SERVICE AREA        | 5'9" X 11'4"   |
| 11a. FOYER              | 13'1" X 6'0"   |

TYPE - D2 | GROUND FLOOR | SIZE - 3924 SQ FT | EAST FACING | 3 BHK





TYPE - D2 | FIRST FLOOR | SIZE - 3924 SQ FT | EAST FACING | 3 BHK



- |     |                   |                |
|-----|-------------------|----------------|
| 1.  | LIVING ROOM       | 12'6" X 23'0"  |
| 2.  | DINING ROOM       | 14'9" X 16'9"  |
| 3.  | KITCHEN           | 9'7" X 13'2"   |
| 4.  | BEDROOM 2         | 12'2" X 17'5"  |
| 5.  | BEDROOM 4         | 12'4" X 13'10" |
| 6.  | MAID'S BEDROOM    | 6'3" X 8'4"    |
| 7.  | BEDROOM ENSUITE 2 | 6'11" X 11'2"  |
| 8.  | COMMON TOILET 1   | 6'1" X 12'4"   |
| 9.  | MAID'S TOILET     | 3'7" X 6'3"    |
| 10. | WALK IN CLOSET 2  | 5'3" X 11'2"   |
| 11. | BALCONY 1         | 4'11" X 17'6"  |
| 12. | BALCONY 2         | 4'11" X 11'4"  |
| 13. | BALCONY 3         | 4'11" X 15'11" |
| 14. | BALCONY 4         | 4'11" X 13'3"  |
| 15. | SERVICE AREA      | 3'11" X 13'11" |



TYPE - D1 | GROUND FLOOR | SIZE - 5036 SQ FT | EAST FACING | 4 BHK

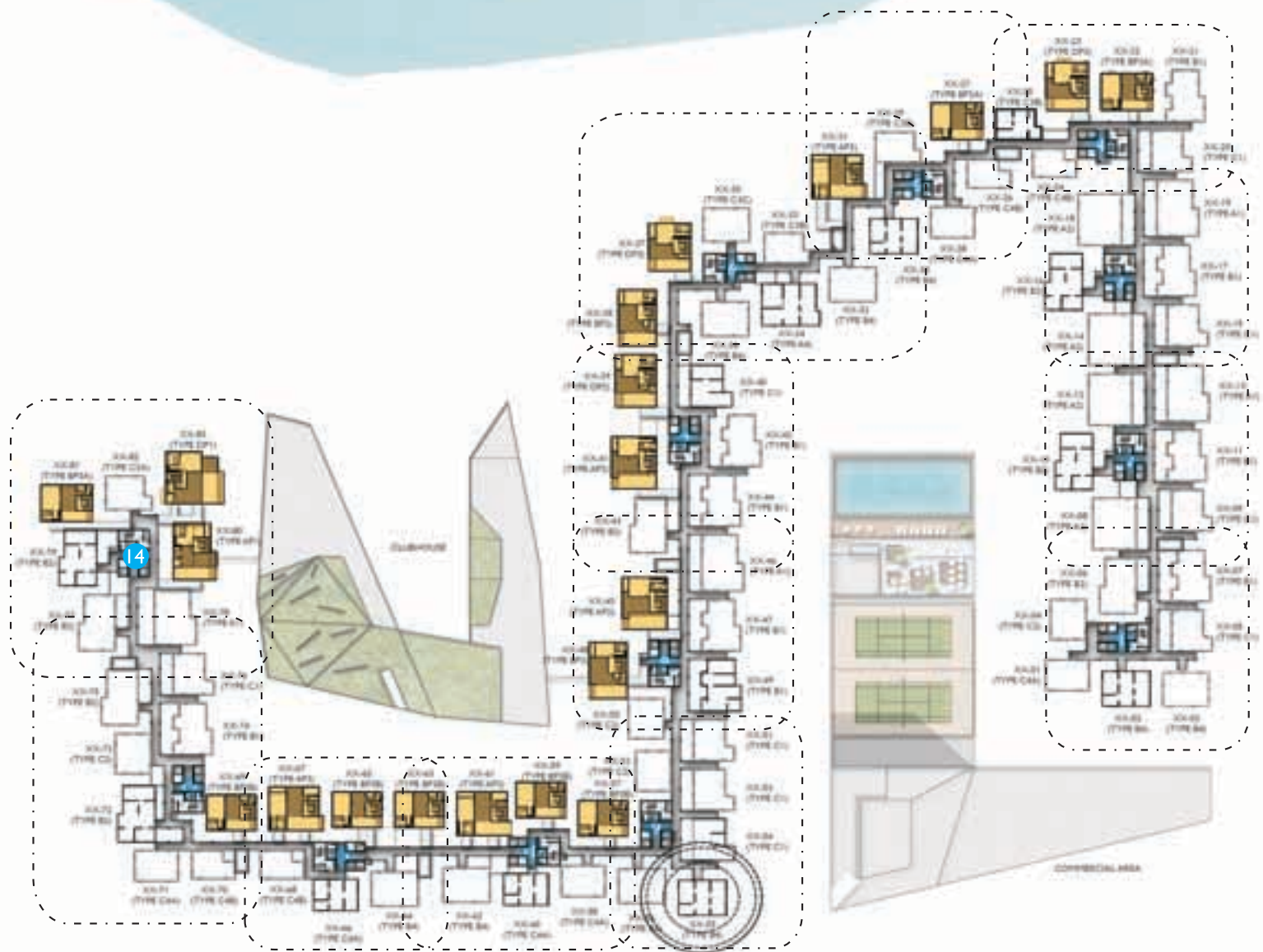


- |                        |               |
|------------------------|---------------|
| 16. FAMILY ROOM        | 14'9" X 16'9" |
| 17. MASTER BEDROOM     | 12'2" X 17'5" |
| 18. MASTER ENSUITE     | 6'11" X 11'2" |
| 19. WALK IN CLOSET     | 5'3" X 11'2"  |
| 20. BEDROOM 3          | 12'4" X 19'1" |
| 21. BEDROOM ENSUITE    | 6'5" X 9'7"   |
| 22. WALK IN CLOSET     | 6'0" X 10'5"  |
| 23. ENTERTAINMENT ROOM | 12'4" X 19'2" |
| 24. BALCONY            | 4'11" X 17'9" |



TYPE - D1 | FIRST FLOOR | SIZE - 5036 SQ FT | EAST FACING | 4 BHK

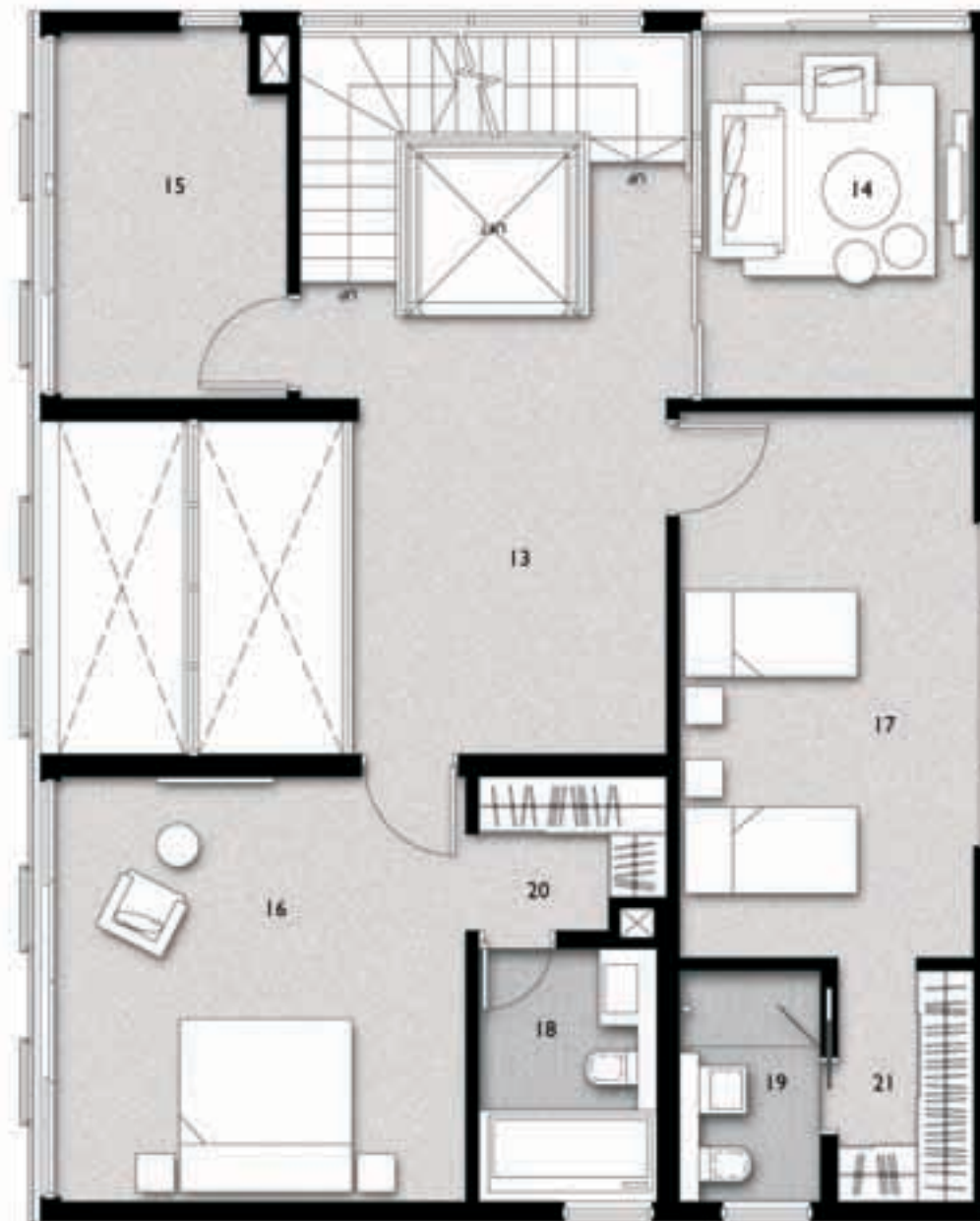




LEVEL 29



TYPE - BP3B | GROUND FLOOR | SIZE - 4945 SQ FT | EAST FACING



13. FAMILY ROOM	11'1" X 15'2"
14. ENTERTAINMENT ROOM	9'4" X 12'8"
15. STUDY ROOM	8' X 12'8"
16. BEDROOM 3	14'1" X 14'8"
17. BEDROOM 4	10'2" X 18'9"
18. BEDROOM ENSUITE 3	6'2" X 8'9"
19. BEDROOM ENSUITE 4	4'1" X 8'
20. WALKIN CLOSET 2	6'10" X 5'5"
21. WALKIN CLOSET 4	4'9" X 8'4"



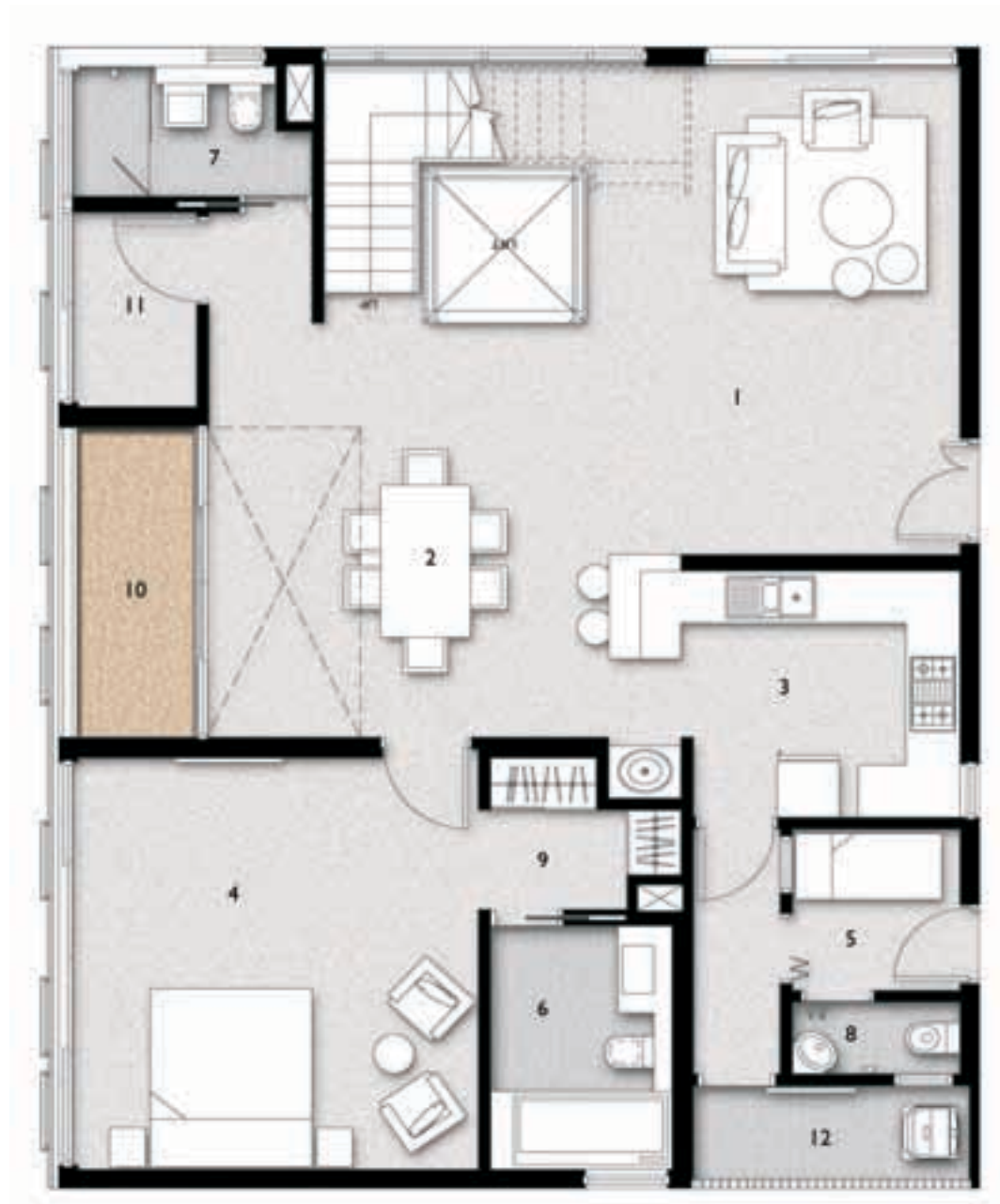
TYPE - BP3B | FIRST FLOOR | SIZE - 4945 SQ FT | EAST FACING



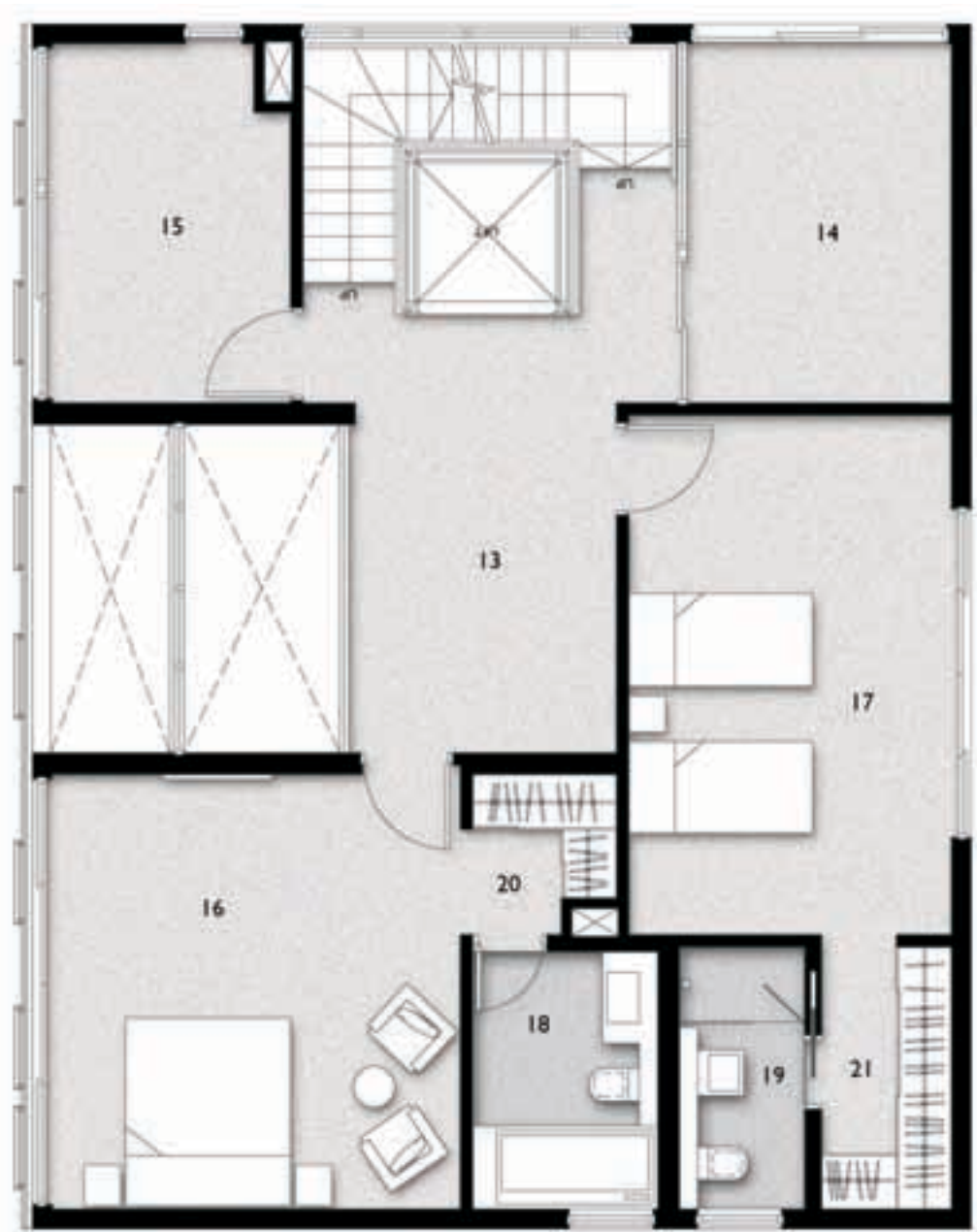
22. MASTER BEDROOM	14'8" X 21'1"
23. MASTER EN-SUITE	9'10" X 8'10"
24. WALK IN CLOSET	5'3" X 10'6"
25. COMMON TOILET 2	5' X 8'
26. STORAGE	5'1" X 7'1"
27. POOL DECK	11'6" X 22'8"
28. POOL	9'3" X 25'5"



TYPE - BP3B | SECOND FLOOR | SIZE - 4945 SQ FT | EAST FACING



TYPE - BP3A | GROUND FLOOR | SIZE - 5303 SQ FT | EAST FACING



13. FAMILY ROOM	9'7" X 15'10"
14. ENTERTAINMENT ROOM	9'6" X 13'
15. STUDY ROOM	8'10" X 13'
16. BEDROOM 2	14'10" X 15'8"
17. BEDROOM 4	11'8" X 18'8"
18. BEDROOM ENSUITE 2	6'9" X 9'4"
19. BEDROOM ENSUITE 4	4'7" X 9'6"
20. WALK IN CLOSET 2	3'7" X 3'10"
21. WALK IN CLOSET 4	4'9" X 9'10"



TYPE - BP3A | FIRST FLOOR | SIZE - 5303 SQ FT | EAST FACING

- 22. MASTER BEDROOM 15'8" X 21'5"
- 23. MASTER ENSLITE 9'10" X 8'10"
- 24. WALK IN CLOSET 9'10" X 6'4"
- 25. COMMON TOILET 5'1" X 8'9"
- 26. STORAGE 4'7" X 7'3"
- 27. POOL DECK 11'10" X 13'6"
- 28. POOL 9'3" X 13'9"



TYPE - BP3A | SECOND FLOOR | SIZE - 5303 SQ FT | EAST FACING









TYPE - DP3 | GROUND FLOOR | SIZE - 5467 SQ FT | EAST FACING



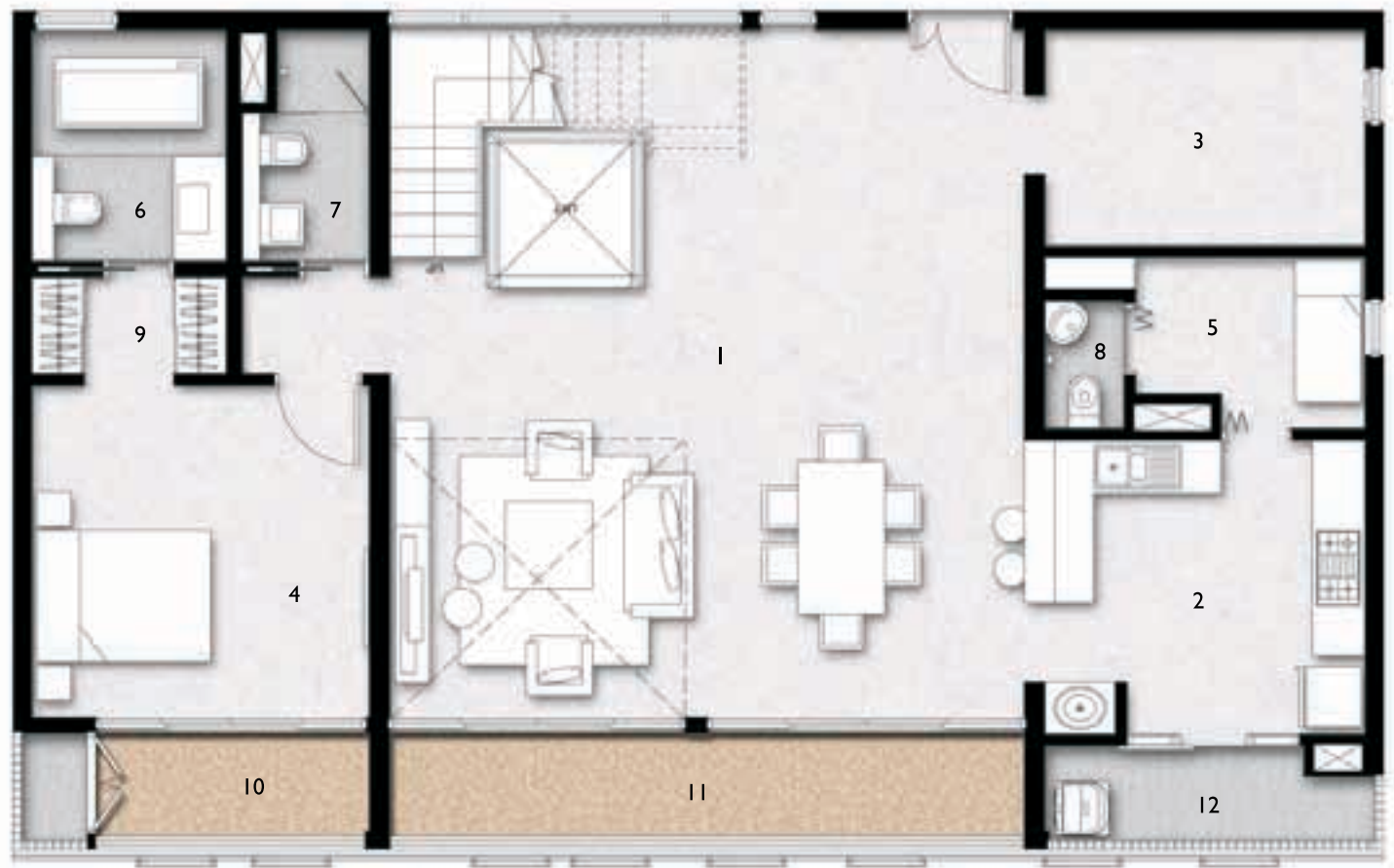
TYPE - DP3 | FIRST FLOOR | SIZE - 5467 SQ FT | EAST FACING



- 20. MASTER BEDROOM 18'6" X 15'4"
- 21. MASTER ENSUITE 7'3" X 12'9"
- 22. WALK IN CLOSET 5'3" X 14'0"
- 23. BALCONY 5 5'9" X 13'7"
- 24. COMMON TOILET 2 4'5" X 10'0"
- 25. POOL DECK 12'8" X 23'4"
- 26. POOL 10'4" X 33'7"



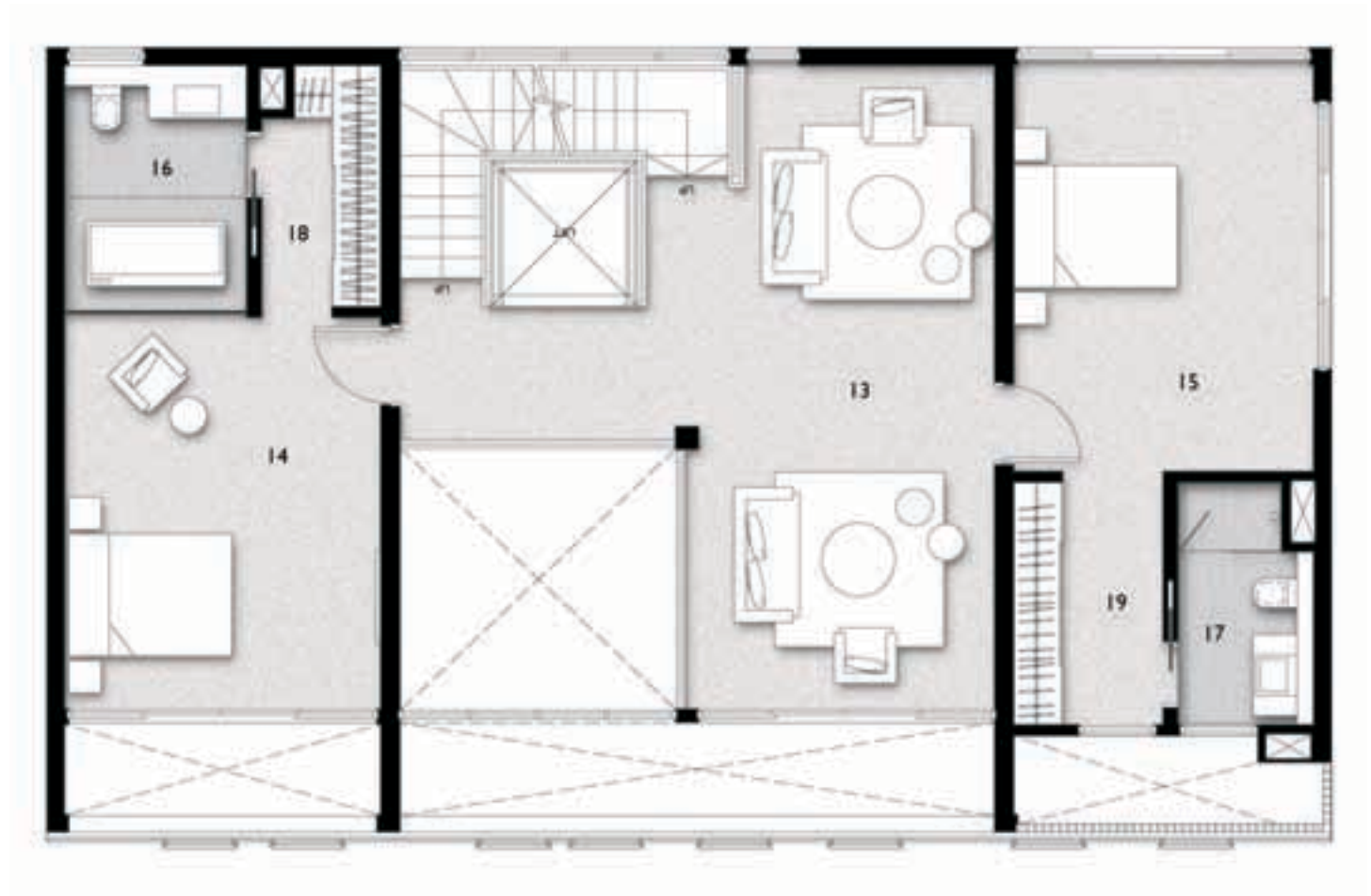
TYPE - DP3 | SECOND FLOOR | SIZE - 5467 SQ FT | EAST FACING



- |                         |                 |
|-------------------------|-----------------|
| 1. LIVING & DINING ROOM | 25'11" X 23'11" |
| 2. KITCHEN              | 12'10" X 11'2"  |
| 3. PUJA ROOM            | 12'2" X 8'3"    |
| 4. BEDROOM 3            | 12'10" X 12'7"  |
| 5. MAID'S ROOM          | 8'9" X 6'7"     |
| 6. BEDROOM ENSUITE 3    | 7'5" X 8'10"    |
| 7. COMMON TOILET 1      | 4'11" X 8'10"   |
| 8. MAID'S TOILET        | 3'1" X 4'11"    |
| 9. WALKIN CLOSET 3      | 7'5" X 4'1"     |
| 10. BALCONY 1           | 10'4" X 4'5"    |
| 11. BALCONY 2           | 23'11" X 4'5"   |
| 12. SERVICE AREA        | 12'10" X 3'11"  |



TYPE - BP2 | GROUND FLOOR | SIZE - 5783 SQ FT | NORTH FACING



TYPE - BP2 | FIRST FLOOR | SIZE - 5783 SQ FT | NORTH FACING



20. MASTER BEDROOM	12'9" X 15'10"
21. MASTER ENSUITE	7'5" X 10'1"
22. WALK IN CLOSET	10'2" X 5'0"
23. BALCONY 3	12'10" X 5'0"
24. COMMON TOILET 2	10'2" X 5'7"
25. STORAGE	4'7" X 3'2"
26. POOL DECK	19'6" X 24'7"
27. POOL	121' X 28'10"



TYPE - BP2 | SECOND FLOOR | SIZE - 5783 SQ FT | NORTH FACING



- |                         |                |
|-------------------------|----------------|
| 1. LIVING & DINING ROOM | 20'4" X 27'1"  |
| 2. KITCHEN              | 12'10" X 11'7" |
| 3. BEDROOM 3            | 13'0" X 14'10" |
| 4. MAID'S ROOM          | 12'2" X 5'10"  |
| 5. BEDROOM ENSUITE 3    | 6'7" X 8'3"    |
| 6. COMMON TOILET 1      | 6'1" X 8'3"    |
| 7. MAID'S TOILET        | 6'7" X 3'1"    |
| 8. WALK IN CLOSET 3     | 3'7" X 8'8"    |
| 9. BALCONY 1            | 13'7" X 5'9"   |
| 10. BALCONY 2           | 20'4" X 5'9"   |
| 11. SERVICE AREA        | 11'4" X 5'4"   |



TYPE - DP2 | GROUND FLOOR | SIZE - 5962 SQ FT | EAST FACING



- |                       |               |
|-----------------------|---------------|
| 12. FAMILY ROOM       | 20'4" X 19'2" |
| 13. BEDROOM 2         | 13'0" X 16'7" |
| 14. BEDROOM 4         | 12'0" X 15'0" |
| 15. BEDROOM ENSUITE 2 | 7'3" X 10'8"  |
| 16. BEDROOM ENSUITE 4 | 5'9" X 11'9"  |
| 17. WALK IN CLOSET 2  | 5'3" X 10'8"  |
| 18. WALK IN CLOSET 4  | 6'3" X 12'1"  |
| 19. BALCONY 3         | 5'9" X 13'7"  |
| 20. BALCONY 4         | 5'8" X 11'4"  |



TYPE - DP2 | FIRST FLOOR | SIZE - 5962 SQ FT | EAST FACING

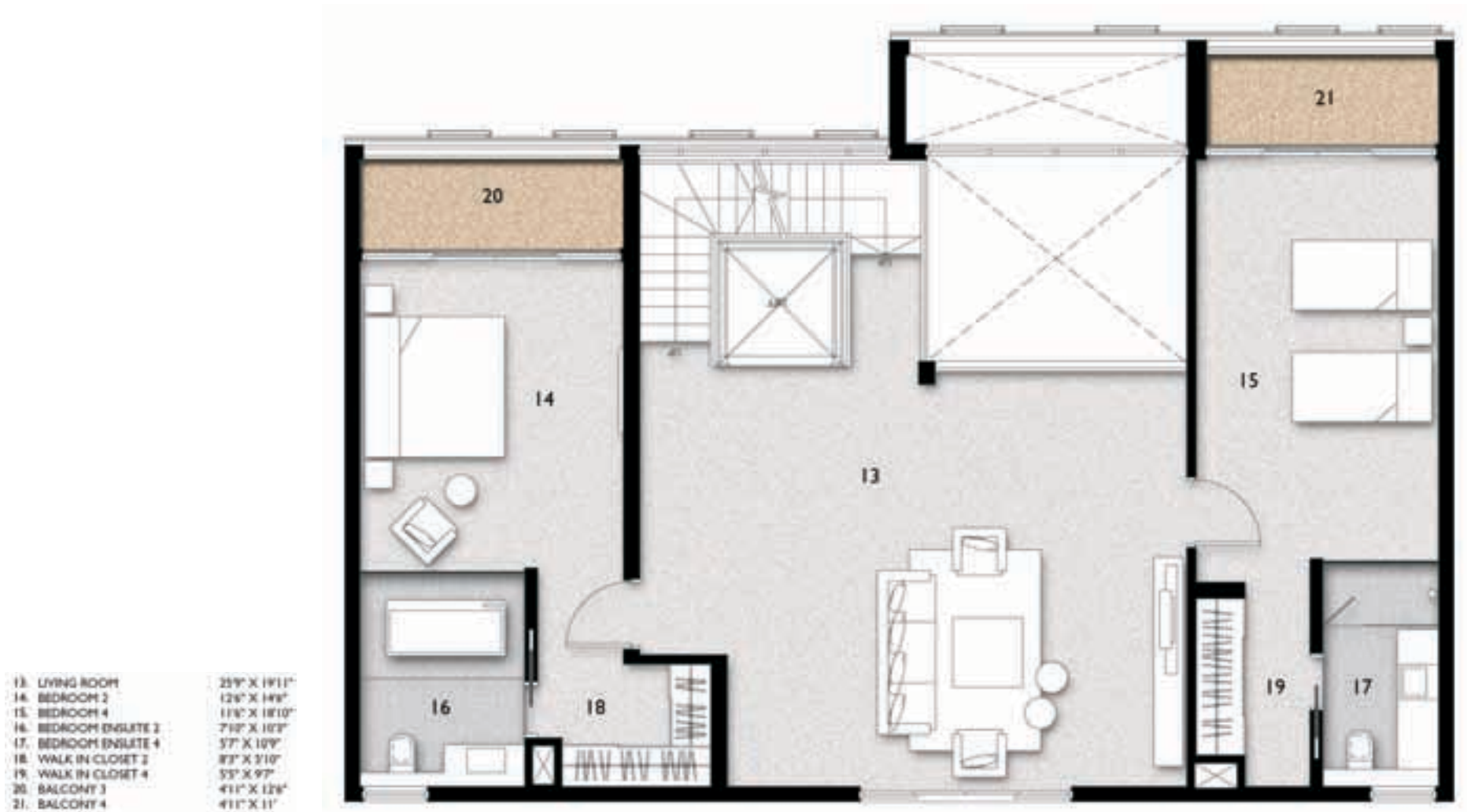


TYPE - DP2 | SECOND FLOOR | SIZE - 5962 SQ FT | EAST FACING

- |                      |                |
|----------------------|----------------|
| 1. LIVING ROOM       | 27'11" X 13'2" |
| 2. DINING ROOM       | 25'9" X 13'9"  |
| 3. KITCHEN           | 11'11" X 10'2" |
| 4. BEDROOM 3         | 12'8" X 14'8"  |
| 5. MAID'S ROOM       | 5'10" X 7'7"   |
| 6. BEDROOM ENSUITE 3 | 7'10" X 10'3"  |
| 7. COMMON TOILET 1   | 5'8" X 9'8"    |
| 8. MAID'S TOILET     | 7'3" X 3'10"   |
| 9. WALK IN CLOSET 3  | 8'7" X 3'10"   |
| 10. BALCONY 1        | 4'11" X 10'    |
| 11. BALCONY 2        | 4'11" X 25'1"  |
| 12. SERVICE AREA     | 11'10" X 6'2"  |



TYPE - AP1 | GROUND FLOOR | SIZE - 6371 SQ FT | EAST FACING



TYPE - AP1 | FIRST FLOOR | SIZE - 6371 SQ FT | EAST FACING

- 22. MASTER BEDROOM
- 23. MASTER ENSUITE
- 24. WALK IN CLOSET
- 25. BALCONY 5
- 26. COMMON TOILET 2
- 27. STORAGE
- 28. POOL DECK
- 29. POOL

12'6" X 15'1"  
 11'3" X 9'8"  
 9'5" X 6'2"  
 4'11" X 12'6"  
 5'9" X 9'8"  
 5'10" X 7'10"  
 12'8" X 28'3"  
 11'0" X 34'9"



TYPE - AP1 | SECOND FLOOR | SIZE - 6371 SQ FT | EAST FACING

- |                         |                |
|-------------------------|----------------|
| 1. LOBBY                | 12'3" X 17'9"  |
| 2. LIVING & DINING ROOM | 22'8" X 16'6"  |
| 3. FAMILY ROOM          | 8'1" X 12'10"  |
| 4. KITCHEN              | 11'1" X 11'10" |
| 5. BEDROOM 3            | 13' X 13'9"    |
| 6. MAID'S ROOM          | 8'2" X 8'9"    |
| 7. BEDROOM ENSUITE 3    | 8'10" X 8'8"   |
| 8. COMMON TOILET 1      | 5'1" X 8'8"    |
| 9. MAID'S TOILET        | 3'3" X 6'2"    |
| 10. WALK IN CLOSET 3    | 6'11" X 5'3"   |
| 11. BALCONY 1           | 4'11" X 11'4"  |
| 12. BALCONY 2           | 4'11" X 12'10" |
| 13. SERVICE AREA        | 11'11" X 4'3"  |



TYPE - AP3 | GROUND FLOOR | SIZE - 6374 SQ FT | EAST FACING



14. FAMILY ROOM	16'7" X 14'1"
15. ENTERTAINMENT ROOM	11'11" X 16'7"
16. STUDY ROOM	6'11" X 12'10"
17. BEDROOM 3	13' X 13'9"
18. BEDROOM 4	11'9" X 16'11"
19. BEDROOM ENSUITE 2	8'10" X 8'
20. BEDROOM ENSUITE 4	5'3" X 10'4"
21. COMMON TOILET 2	5'1" X 8'8"
22. WALKIN CLOSET 2	5'3" X 8'10"
23. WALKIN CLOSET 4	5'7" X 10'8"
24. BALCONY 3	4'11" X 13'8"

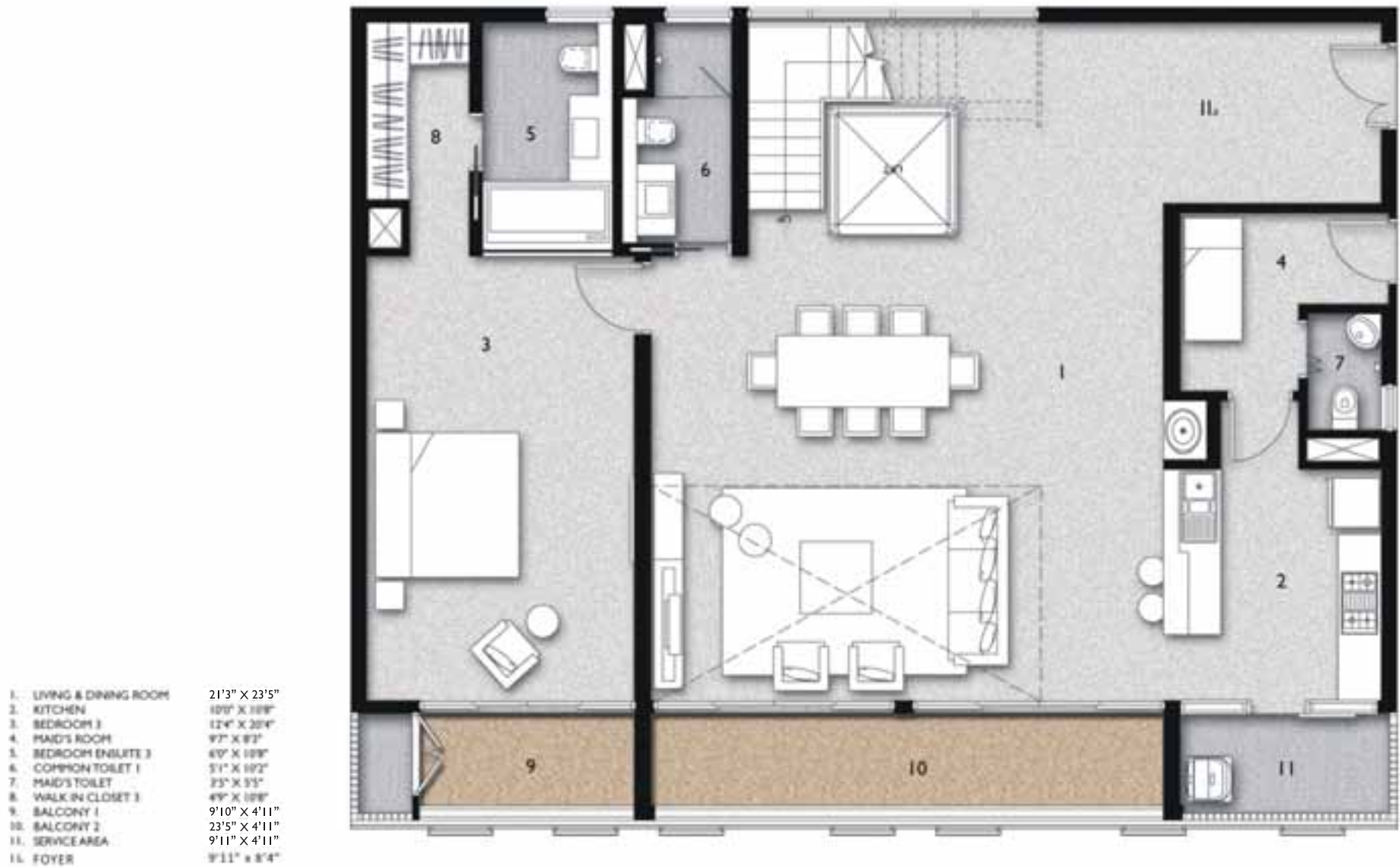


TYPE - AP3 | FIRST FLOOR | SIZE - 6374 SQ FT | EAST FACING

- 25. MASTER BEDROOM 21'0" X 13'9"
- 26. MASTER ENSUITE 12'9" X 7'10"
- 27. WALK IN CLOSET 12'9" X 5'3"
- 28. BALCONY # 4'11" X 13'9"
- 29. COMMON TOILET 2 5'1" X 8'8"
- 30. STORAGE 4'11" X 12'9"
- 31. POOL DECK 27'2" X 12'8"
- 32. POOL 12' X 28'2"



TYPE - AP3 | SECOND FLOOR | SIZE - 6374 SQ FT | EAST FACING



TYPE - AP2 | GROUND FLOOR | SIZE - 6434 SQ FT | EAST FACING

- |                        |                |
|------------------------|----------------|
| 12. LIVING ROOM        | 11'5" X 17'11" |
| 13. ENTERTAINMENT ROOM | 15'2" X 10'4"  |
| 14. BEDROOM 2          | 12'4" X 20'4"  |
| 15. BEDROOM 4          | 15'2" X 14'1"  |
| 16. BEDROOM ENSUITE 2  | 6' X 10'8"     |
| 17. BEDROOM ENSUITE 4  | 9'3" X 5'9"    |
| 18. COMMON TOILET      | 5'11" X 10'2"  |
| 19. WALK IN CLOSET 2   | 4'9" X 10'8"   |
| 20. WALK IN CLOSET 4   | 5'3" X 6'1"    |
| 21. BALCONY 3          | 12'4" X 4'11"  |
| 22. BALCONY 4          | 9'3" X 4'11"   |



TYPE - AP2 | FIRST FLOOR | SIZE - 6434 SQ FT | EAST FACING



23. MASTER BEDROOM	17'1" X 17'3"
24. MASTER ENSUITE	6'X 13'11"
25. WALK IN CLOSET	4'10" X 13'11"
26. BALCONY 1	4'11" X 12'4"
27. COMMON TOILET 2	3'1" X 8'10"
28. POOL DECK	16'7" X 23'0"
29. POOL	11'11" X 33'8"



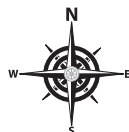
TYPE - AP2 | SECOND FLOOR | SIZE - 6434 SQ FT | EAST FACING



TYPE - DP1 | GROUND FLOOR | SIZE - 7674 SQ FT | EAST FACING



- |                        |                |
|------------------------|----------------|
| 14. FAMILY ROOM        | 16'1" X 16'5"  |
| 15. ENTERTAINMENT ROOM | 19'6" X 12'6"  |
| 16. BEDROOM 2          | 12'4" X 17'9"  |
| 17. BEDROOM 4          | 12'6" X 19'1"  |
| 18. BEDROOM ENSUITE 2  | 6'9" X 11'2"   |
| 19. BEDROOM ENSUITE 4  | 6'1" X 9'9"    |
| 20. WALK IN CLOSET 2   | 5'3" X 11'2"   |
| 21. WALK IN CLOSET 4   | 6'2" X 4'9"    |
| 22. BALCONY 4          | 4'11" X 17'11" |



TYPE - DP1 | FIRST FLOOR | SIZE - 7674 SQ FT | EAST FACING

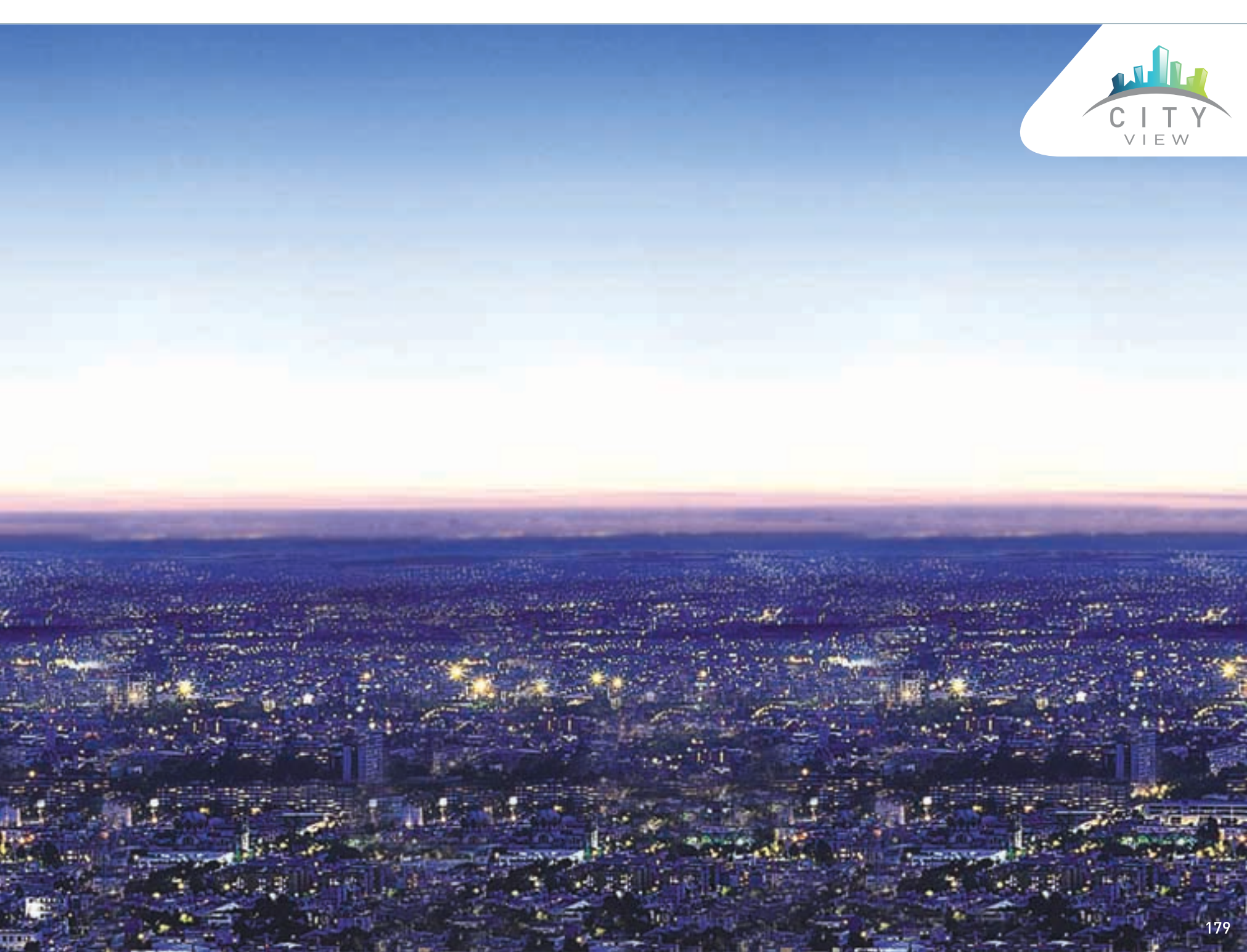
- 23. MASTER BEDROOM 17'3" X 17'7"
- 24. MASTER ENSUITE 11'10" X 11'0"
- 25. WALK IN CLOSET 5'1" X 11'3"
- 26. BALCONY 5 13'7" X 12'8"
- 27. COMMON TOILET 2 10'8" X 6'4"
- 28. STORAGE 8'6" X 6'6"
- 29. POOL DECK 28'9" X 22'9"
- 30. POOL 15'2" X 28'1"



TYPE - DP1 | SECOND FLOOR | SIZE - 7674 SQ FT | EAST FACING

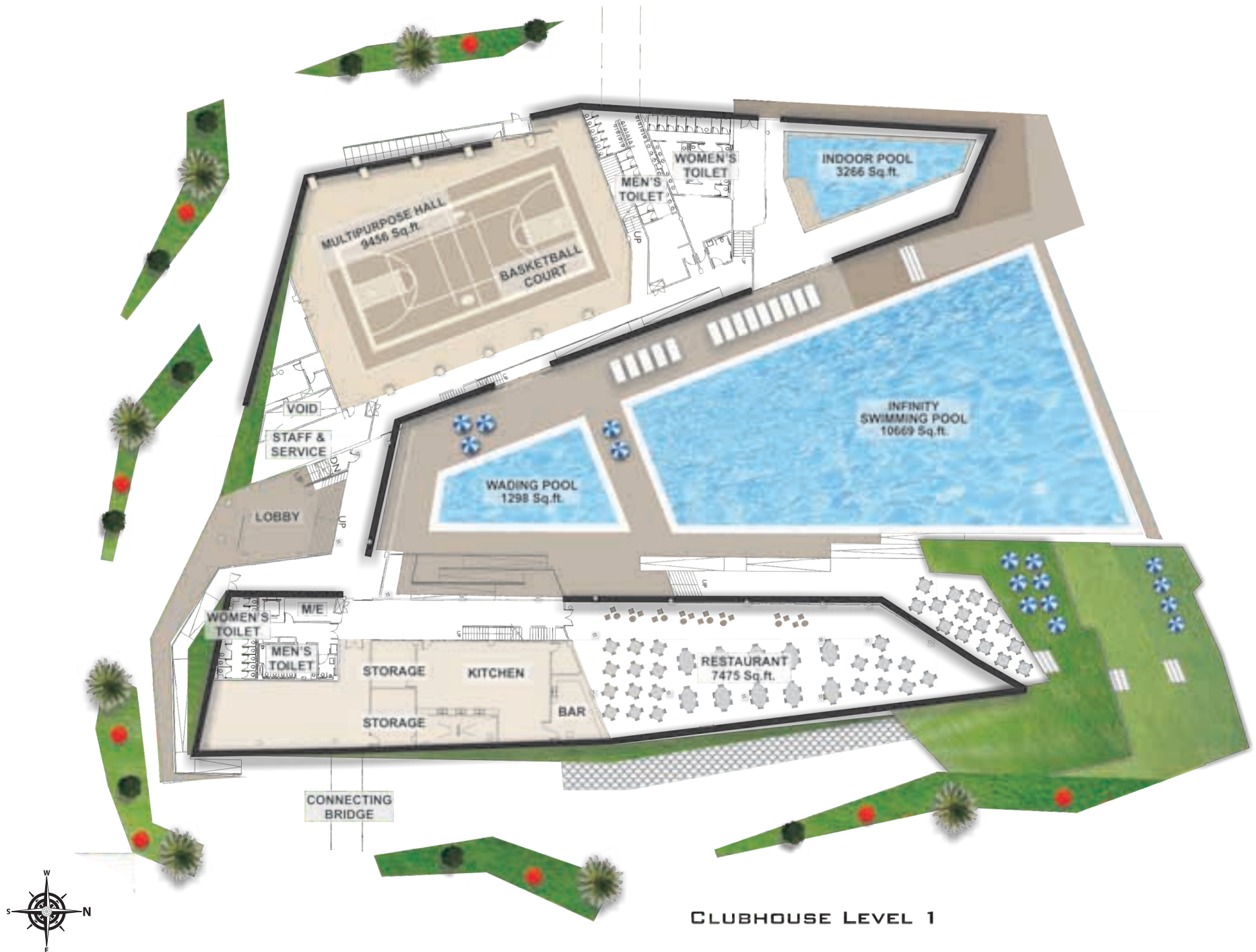




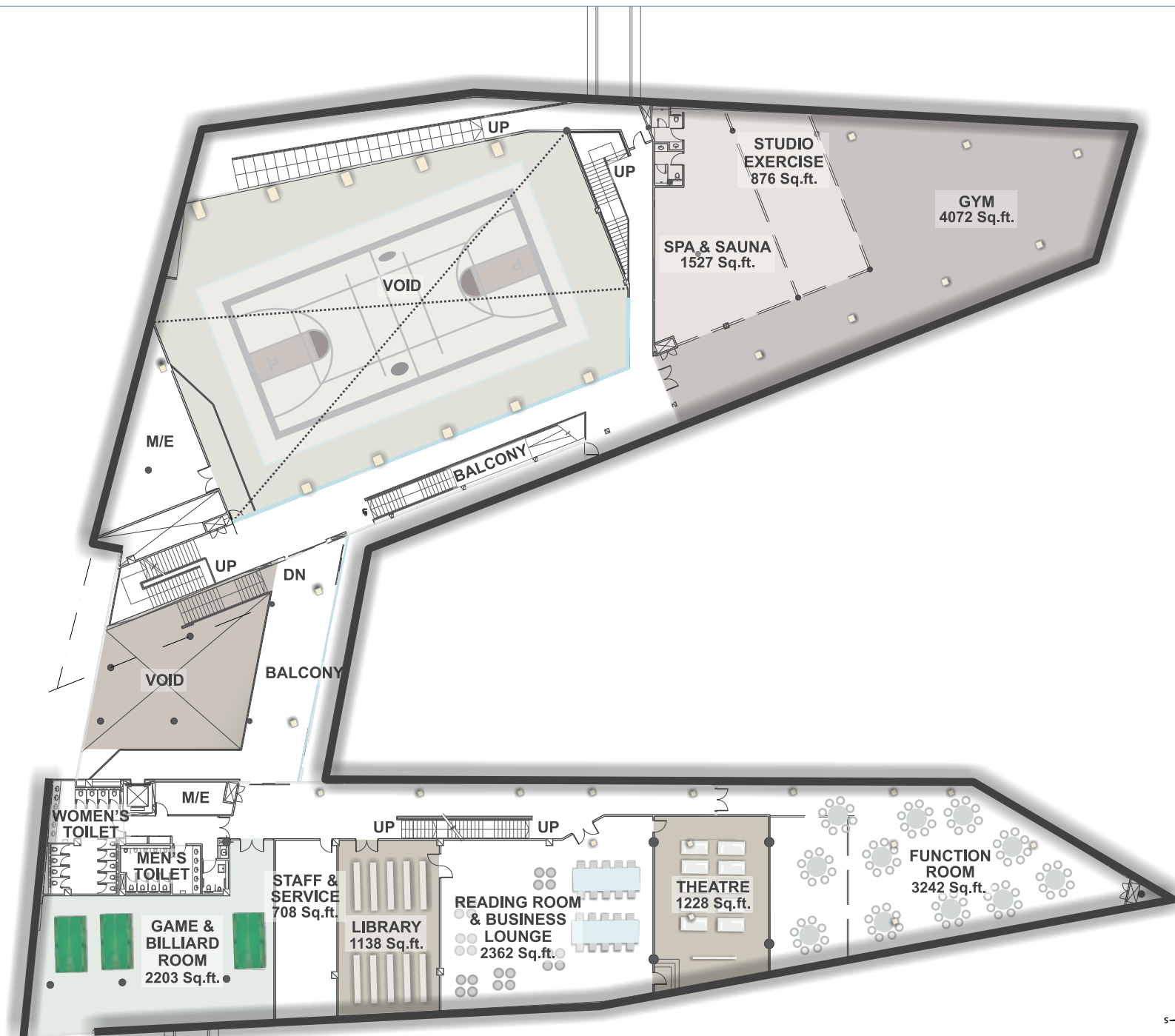


'CLUBHOUSE'





CLUBHOUSE LEVEL 1



**CLUBHOUSE LEVEL 2**



## WHAT TO LOOK FOR IN REAL ESTATE?

Sounds strange, but you have to be as careful while investing in a house as you would, while choosing your life partner. Both should have a good background, credibility, reliability & compatibility. Here is a checklist you need to tick off while taking the big decision:

### **Location:**

A locality with good roads, modes of transport, mobile and internet connectivity and one that has the potential to grow as a hub of its own.

### **Loans and clear land title:**

Invest in a realtor who has a tie-up for home loans from a trustworthy bank so that you don't have to go looking for loans on your own. Also with a realtor who has clear land title and other documents in place.

### **Security:**

Opt for gated communities which provide 24x7 security.

### **Accessibility:**

A place where the basic needs such as supermarkets, grocery stores, food courts, provision store, a pharmacy etc are at a walkable distance. An integrated township that blends life with lifestyle is a good bet!

### **Water and Air:**

A housing project with 24-hours water supply, greenery, open lawns and the feel of space. A project which meets the stringent standards of a healthy lifestyle is certified by Institutions like the Indian Green Building Council.

### **Asset Management services:**

Who takes care of your home when you are away on an overseas deputation or when you rent it out while you are abroad? A housing project with Property Management Services makes it easy for you.



## PROJECT SPECIFICATIONS

### FOUNDATION

Reinforced concrete raft foundation

### SUPER STRUCTURE

RCC shear walls-framed structure, resistant to wind and earthquake (Zone-2).

Transverse slab introduced at Level 1 to have more column free space and unhindered view at Ground level leading to efficient car parking management at basement.

### WALLS

External Wall: Reinforced shear wall and/or solid cement concrete blocks

Internal Wall: Reinforced shear wall and/or solid cement concrete blocks / pre-cast concrete members

### ROOF

Reinforced concrete roof with appropriate water proofing wherever applicable

### CEILING FINISHES

For all Apartment Types

A. Living / Dining, Bedroom, Family, Study, Kitchen and Balcony:  
Smoothly finished with putty & Oil Bound Distemper

B. Bathroom, Powder room:  
Calcium silicate board / equivalent water resistant board smoothly finished with Oil Bound Distemper / enamel paint

C. Utility, Maid room:  
Neatly finished with Oil Bound Distemper

#### FOR COMMON AREA

A. Lift Lobby: Designer ceiling smoothly finished

B. Basement Car Park: Concrete surface finished with dry distemper and/or oil Bound distemper

C. Staircase, Corridor and Fire Rescue area: Finished with Oil Bound Distemper / Dry Distemper

### WALL FINISHES

For All Apartment Types

A. Living / Dining, Bedroom, Family, Study, Private Lift Lobby etc.

Smoothly finished with putty & Oil Bound Distemper

B. Utility (Maid room): Neatly finished with Oil Bound Distemper

C. Common Lift Lobby: Natural Stone cladding and / or homogenous tile cladding, finished with putty and Oil Bound Distemper and / or textured paint with Oil Bound Distemper

For Common Area

A. Entrance Lobby and Lift Lobby: Natural Stone cladding and / or homogenous tile cladding, finished with putty and Oil Bound Distemper and / or textured paint with Oil Bound Distemper

B. Staircase: Neatly finished with dry distemper and / or Oil Bound Distemper

C. Driveway, Car park and Ramp: Concrete surface / smoothly finished with enamel or OBD / Dry Distemper/ Lime wash

D. Corridors: Smoothly finished with Oil Bound Distemper

### FLOORING

For All Apartment Types

A. Living / Dining: Textured Homogenous tile / vitrified tile by Nitco

B. Family area / Study: Textured Homogenous tile / vitrified tile by Nitco

C. Bed rooms: Textured Homogenous tile / vitrified tile by Nitco

D. Kitchen: Homogenous / Kitchen vitrified tiles / Johnson / Nitco or Equivalent make

E. Balcony / Private terrace: Anti skid homogenous / vitrified / ceramic tile

F. Maid room and Utility room: Anti skid ceramic tiles

#### FOR COMMON AREA

A. Entrance Lobby and Lift Lobby: Natural Stone and / or Homogenous tile

B. Corridors Homogenous tile and / or ceramic tile by Nitco



## PROJECT SPECIFICATIONS

### WINDOWS

All windows are of Aluminium alloy frames by Jotun and glazed sliding shutters OR hollow multi chambered UPVC Window systems with EPDM gaskets and steel reinforcement with an outer wall thickness of 2 mm.

### DOORS

[By pyramid and MAS doors]

A. Main door: Frame: Aesthetically designed FIRE RATED TIMBER finished with melamine spray polish  
Shutters: Fire rated machine made teak finished flush shutters and / or European style moulded shutters of 35 mm thickness

B. Internal Door: - Teak Wood Frame and / or factory made wooden frames with enamel paint or Aluminium Frames  
- 30mm moulded shutters and / or flush finished with enamel Paint

C. Balconies: Aluminium alloy / UPVC glazed French doors

D. Toilet / Maid room: - Timber or factory made wooden frames with enamel paint  
- Flush shutter with KPF putty and enamel paint  
- Accordion / sliding door

E. Maid Toilets: - PVC doors

### TOILETS

- Walls: Ceramic tiles cladded upto ceiling height
- Flooring: Anti skid ceramic tiles
- Ceiling: Calcium Silicate board or equivalent with Oil Bound Distemper finish
- Provision for Jacuzzi in sky villas
- Sanitary ware by Durawit / Parryware / Cera / Hindware or equivalent
- Bath fittings by Jaquar / Parryware/ Hindware or equivalent

### SANITARY & BATH FITTINGS

[All sanitaryware and bath fittings by Hindware, Cera, Simpolo /equivalent]

#### Master Bathroom

- Vanity top complete with wash basin and pillar cock
- A bath tub with designer shower mixer set or shower compartment with screen partition & shower mixer set
- 1 water closet
- 1 toilet paper holder

- 1 towel rail
- 1 health faucet

#### Other Bathrooms

- Wash basin and pillar cock
- Wall mixer & shower with screen partition
- 1 water closet
- 1 health faucet

#### Powder Room

- Wash basin and pillar cock
- 1 water closet
- 1 health faucet

### KITCHEN

- Walls: Smoothly finished with putty and Oil Bound Distemper OR Satin (Matt) enamel
- Piped LPG gas connection
- Reverse Osmosis system for drinking water and softener for raw water
- Provision for chimney

### ELECTRICAL

#### POWER BACKUP

- 100% power backup for all flats
- Sound proof (in acoustic enclosure) Auto start generator with auto change over switch

#### WIRING

Concealed copper wiring in PVC conduits as per Bureau of Indian Standards  
Adequate power plugs in kitchen and dining areas [Polycab cables]  
Three phase power supply

### TV / TELEPHONE

Points in Living and Master Bed room

### WATERPROOFING

Waterproofing shall be provided to floors of bathrooms, powder room, roof terrace and utility



# PROJECT SPECIFICATIONS

## RECREATION FACILITIES

### Indoor

- Swimming pool
- Squash court
- Shuttle court
- Basketball court
- Pistol shooting range
- Pool, Table Tennis, Carroms, Chess
- International standard Gym equivalent to Reebok / Gold's Gym Standard
- Spa with Sauna / Jacuzzi, Yoga & Meditation hall
- Library / Reading room, Clubhouse with Multi-purpose room & function room
- Male and Female changing rooms with steam room
- Studio
- Sky Gardens

### Outdoor

- Golf driving range
- Swimming pool
- Cricket nets
- Tennis courts
- Skating rink
- Jogging Track
- BBQ Pavilions
- Children's Play Areas
- Amphitheatre
- Plaza
- Water Features

## HOME AUTOMATION

### Lifestyle:

- Remote controlled switches by Toyoma - fully integrated automation systems for:
  - Mood Lighting
  - Appliance controls (On / Off)
  - E-commerce for in-campus facilities
- Remote Access to the automation system - the facility to operate any electrical fixtures or security system in the flat from anywhere in the world, using the internet shopping

### Security:

- Access Control: Video Streaming of visitors from main gate; visitor picture or video sent to inbox of resident

- The luxury of attending the visitors only for the specified profile without disturbing others in the family. Intended recipients can be reached via email, mobile or SMS
- Biometric locking system to enable authentications for inhabitants & service personnel and the timing of their access
- Video Surveillance: Comprehensive security system with motion sensor cameras
- Intercom & video door phones
- Electrical fencing

### Utilities:

- Automated billing of water, power & gas usage
- EV Ready Car Parks (Electric Vehicle charging facility in each car park)
- Wi-Fi Internet
- Maid Mode: Alert about maid logging in or logging out of the flat, and tracking of maid

### Safety:

- Gas leakage detection system - Auto shut off gas supply to the apartments
- Smoke detection system, Fire alarm, wet sprinklers (As per Fire Authority regulations)
- Rescue areas for every 5 floors
- Child tracking system
- Child Lock for the home automation system that can be varied depending on the child's age

## ADDITIONAL FEATURES

### Shuttle Service:

- Connectivity to cardinal routes

### Elevators:

- V3F drive high speed lifts of speed anywhere ranging from 1.5 - 3 mtrs/sec
- Brush steel SS finish for lift interiors
- Mitsubishi / Kone or equivalent
- 39 passenger lifts + 13 Fire / Service lift in addition to 22 staircases

### Water Management:

- Water softener to prevent scaling and for healthy hair and skin
- Reverse Osmosis and UV treated water for drinking

### Eco Friendly Complex:

- Rain water harvesting
- Sewage Treatment Plant (STP), Recycled water for flushing and gardening
- Garbage chutes
- Sky gardens & Pocket gardens
- Recharge pits





## LIVE EXPERIENCE!

The proud owners shared their views on a lifetime dream becoming true. Extracts of their views, on different aspects; quality of constructions, the team behind the great success, futuristic outlook of the projects, are exhilarating.

We are very happy that we got our flat as per their commitment on 11/11/11. They have maintained the highest quality of construction. This is beyond our expectations. We are thrilled

**- Mr. Surya Vedula**

Thank you Aliens Group for the excellent hospitality and support all through the process of buying a home to the on-time delivery of the flat. And we truly believe that, this was the best choice we have made!

**-Mrs. Karra Bhramaramba**

Owning a house is a major milestone in life and that's a fact. The features like sports and games complex, clubhouse, greenery, techno-homes and the garbage disposal, e-commerce from your house etc.- All of this got me sold. Now I am keenly waiting to see how the project finishes.

**-Lt. col. Krishna Mohan Poduri**

I have found the sophistication I needed in my home only at Aliens Space Station.

**- Kunal Vyas**

We believe in Aliens and Aliens fulfilled every promise. They have dedicated teams to ensure every aspect with quality. We are proud to be associated with Aliens Group.

**- Mahesh Nambiar & Bindu**

Aliens Space Station is truly the most futuristic address in Hyderabad.

**- Manish Kumar**

The expertise of International Consultants and Aliens Group's vision for Space Station is an unbeatable combination.

**- Arun Aich**

We have chosen 2 flats in Space Station after a meticulous homework and we are happy with our decision.

**- Sanjay Kumar Gupta**

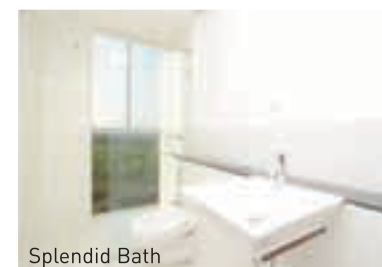
Aliens Space Station will dominate the Skyline of Hyderabad with its innovative and futuristic design. All the best.

**- Siva. S**

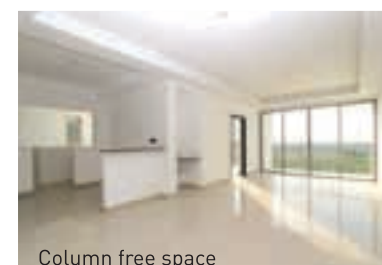
## Actual flat pictures



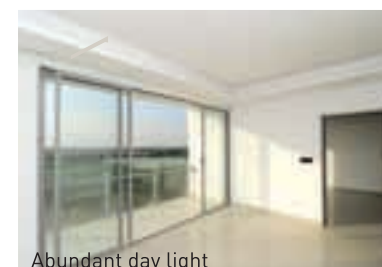
Great ventilation



Splendid Bath



Column free space



Abundant day light

# Services 360<sup>o</sup>

## CARE TEAM:

Immaculate homes are what we desire to deliver. And to facilitate it, our Care Team gives you a hands-on approach in delivering impeccable finish before possession of your pride-your home.

### Services:

- Architectural Consultation
- Customisation requirements from pre-occupancy to post occupancy

## FINANCE & LEGAL TEAM:

Say hello to a hassle-free possession process. No more worries about documentations, loans or payment schedules. The finance and legal team takes care of the rudimentary making the ownership of your home as easy as just receiving the key to your dream life.

### Services:

- Sale agreement
- Home loans arrangement
- Registration formalities
- Loan disbursement
- Follow up for payment as per schedule
- Handing over the possession of the apartment

## SUPPORT TEAM:

'Maintenance is a continuous action and not a reaction'. No grievance / complaint of the buyer goes unresolved even after the final possession of their cherished investment.

### Services:

- Post-occupancy building / apartment maintenance
- Interior designing assistance
- Renovation and re-modelling service
- Services covered in the guarantee card

## CORPUS FUND:

Five years down the line and the project looks as good as new! As a part of our value package, the facility maintenance of the entire Space Station property is done through a corpus fund management. The corpus fund will exist as an independent body yielding revenue for maintaining the life of Space Station. This ensures continuous facility maintenance and an end to monthly maintenance collection. To add further to the existing revenue model, telecom tower renting and other such value generating mechanisms will be used.

### Benefits:

- Residents can enjoy the hospitality equivalent to a five star hotel
- Eradicate dilapidation / wear and tear of the apartment / buildings with time
- Add perpetual value to the project and apartment
- End to the conventional monthly maintenance cycle

**PMS TEAM:**

At Aliens, property sold is always a property managed. The PMS Team provides impartial and professional services of rent collection, property resale, landscaping and house keeping of common areas and round the clock security services.

**Services:**

- Facility Management:
- House keeping of common area
- AMC and maintenance of common equipments
- 24 hrs security
- Common area landscaping
- Travel desk and 24 hrs hospital contact (in process)
- 24 hrs support service (in process)

**Client services:**

- Property renting
- Rent collection
- Property protection from tenants etc
- Property investment management
- Intermediate maintenance of property before renting
- Support during breakdown of amenities / facilities or any other property maintenance concern



It takes courage to 'promise and deliver' an impeccable mix of path-breaking property development and uncompromising quality. Courage to break free from perceived constraints on size, design, structure and industry boundaries. Courage to challenge the conventional wisdom and balance it with excellence and expertise.

It was this very thought that laid the foundation and genesis of Aliens Group.

Headquartered in Hyderabad, the Group was founded in the year 2003 and has grown exponentially in the past five years; promoting modern, innovative and intelligent living spaces.

As pioneers of the 'Intelligent living' concept, the leadership of the company believes in applying the new age phenomenon of 'maximized spaces and minimized hassles' to satisfy the most conscientious buyers of today's generation.

An enterprising and proficient team, the Group is headed by the dynamic duo Hari Challa and Venkat Challa who have charted a path of creating townships that foster world-class architecture with unprecedented levels of form, functionality and eco-sustainability.

Today, Aliens Group is recognized for developing exclusive and unique townships and satellite cities in prominent locales of Hyderabad. It grasps the unique advantage of having global reach and is cashing in on this by adopting global real estate standards and inviting participation from international experts of design, construction and management. International consultants, advisors, associates, best-of-the-breed architects and engineers share their knowledge and expertise in developing the current bevy of projects. Each project is aligned with the ultimate goal of creating intelligent, eco-sensitized communities that make modern life easier, healthier and more comfortable.

At Aliens, we have set out to achieve a unique development that uses the most innovative design and the finest materials and craftsmanship, which is why we have sought the consulting expertise, experience and reputation of leading international consultants.

## **SPARCH** - Singapore

**SPARCH-Singapore (Chief Architects & Planners), Singapore** (formerly known as SMC ALSOP), with offices in UK, Far East, Canada, Beijing, Kuala Lumpur, Shanghai, Singapore is one of the most renowned architects of the world. The firm is a leading architectural, master planning, urban design, landscape design and multimedia practice.

The following landmarks are a testimony to their expertise, experience and their cutting edge construction techniques:

Puddle Dock, London

Peckham Library (named building of the year as winner of the RIBA's Stirling prize 2000)

College of Art and Design, Toronto (RIBA prize for International building of the Year)

Clarke Quay, Singapore

Raffles City, Beijing



## **Ranhill**

**Berhad (Mechanical, Electrical & Plumbing), Malaysia** is a premier engineering corporation that has contributed significantly to the building of a new Malaysia. As a world famous provider of integrated engineering and construction solutions, they have contributed to iconic projects like:

PETRONAS TWIN TOWER, Kuala Lumpur

International Airport, Kuala Lumpur



**Singapore (Structural Consultants)**

**Meinhardt Infrastructure Pte (Structural Engineering & Design Management consultants), Singapore**, a leading global provider of planning, engineering and technology services provides integrated services in the areas of civil/structural, mechanical, electrical, fire, hydraulic, transportation and infrastructure engineering and related disciplines delivered seamlessly under one roof.

**Their major building and infrastructure projects include:**

The Dubai Pearl

The Sail @ Marina Bay, Singapore

The Business & Financial Center (BFC), Singapore

Bank of China, Hongkong



## **DAVIS LANGDON & SEAH CONSULTING**

**Singapore / India (Cost Management Consultants)**

DLS provides professional services in Cost Management (Quantity Surveying Services) Project Management, Specification Consultancy, Legal Support Services, Cost Engineering Service, Value Management and Investment Appraisals.

**Some of the major projects:**

IBM Manyata Software Park, Bangalore

Radisson Hotel Bangalore

Microsoft, Hyderabad



## **Duffill Watts** Consulting Group

**DUFFILL WATTS GROUP, New Zealand (Traffic Management Consultant)**

A multi disciplinary professional consulting practice with offices and projects located throughout New Zealand, South East Asia, America and the Middle East, Duffill Watts group, offers a complete professional engineering consultancy service - from investigation and feasibility studies, through design and documentation, to construction and commissioning - for commercial, industrial, and central and local government clients in the fields of: infrastructure, roading, industrial plant and process, wastewater treatment and disposal, water supply, structural design, environmental services, land planning, transportation.

**Major projects are:**

Palm Jumeirah, Dubai

Construction of large bridges in the Philippines and Malaysia.

Road design projects in Indonesia, Malaysia and Laos.

Transportation and infrastructure projects in Iran



**PERIDIAN Asia Pte Ltd, Singapore (Landscape Architecture and Master Planning)**

Peridian, as a key player in Real Estate, Engineering, Surveying, or Construction Services, prides itself on its proven excellence in landscape architecture management, land planning and design, across the maze of government entitlements and approvals through successful completion.

**Major projects are:**

Grand Hyatt Hotel, India

Ritz Carlton, Jakarta Indonesia

Hon Mot Nha Trang Resort Island, Vietnam

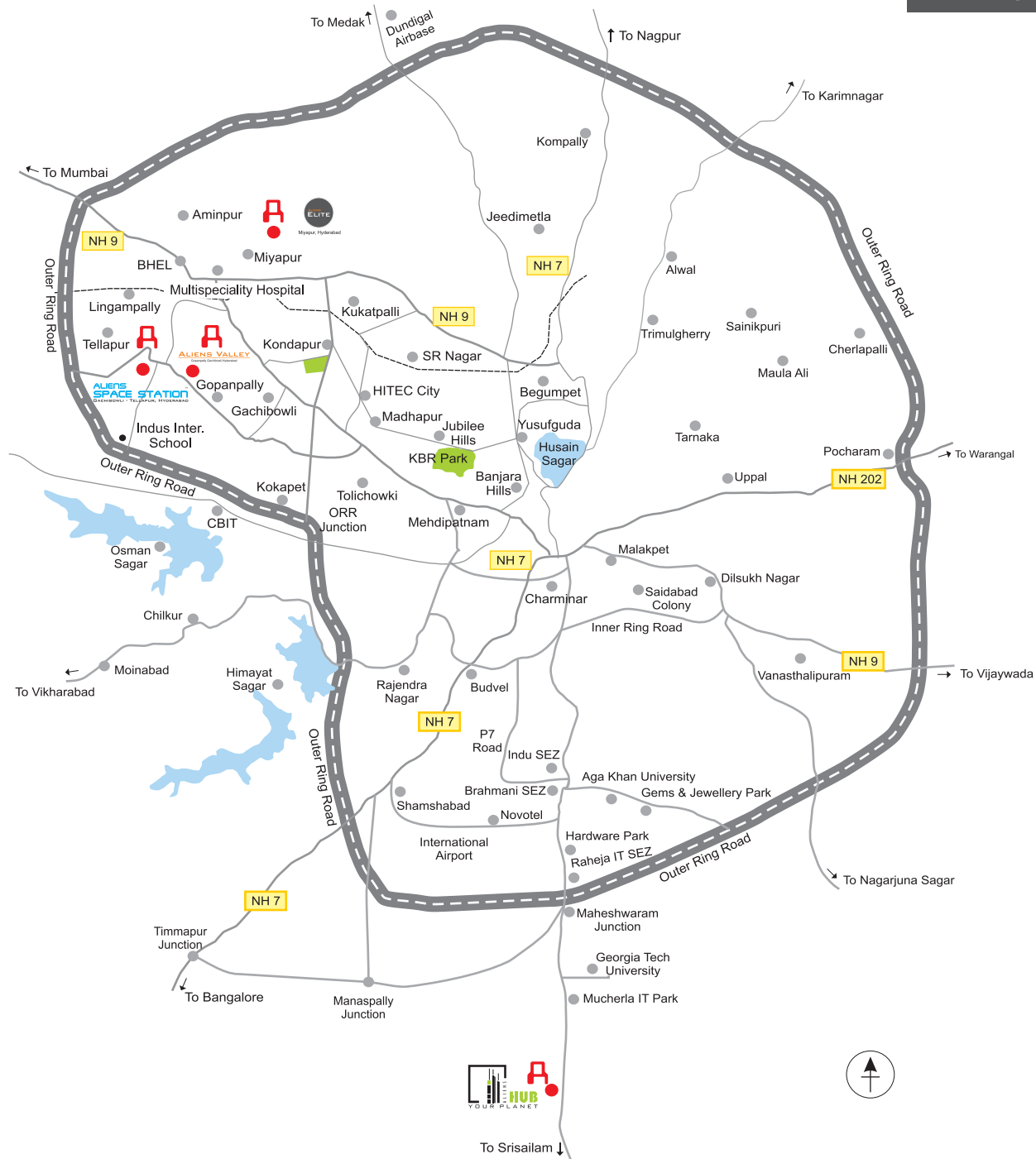


**Smart+Connected Communities**  
changing City, a Country, the World

**CISCO**, is the key component of Smart+Connected communities. They use intelligent networking capabilities to weave together people, services, community assets, and information into a single pervasive solution.

[illegible]

# ALIENS PROJECTS HYDERABAD MAP



# OTHER PROJECTS



AN  
'URBAN EVOLUTION'

Miyapur, Hyderabad



### Apartment features

- Only 4 Apartments Per Floor
- 1 Car Parking Per Apartment
- Wi-Fi enabled Internet access
- Intercom and Video Security System
- French Windows with Float Glass for Balcony Wherever Designed
- Remote Control Electrical Switches
- RO System for Drinking Water
- Centralized LPG Cooking Gas Connection
- 100% Power Backup
- Layouts Designed as per Vaastu
- Water Harvesting Pits (Recharge Ground Water)
- Solar Water Heater
- Sewerage Treatment Plant for (100% Recycle)

### ACTUAL IMAGES AT SITE





# ALIENS VALLEY

Gopanpally, Gachhibowli, Hyderabad

## Apartments Features

- French Windows with Float Glass for Balcony Wherever Designed
- Vitrified Tiles in Hall & Dining
- Modular Switches
- Auto Start Soundproof Generator with 100% Power Backup
- RO System for Drinking Water
- Water Softener
- Centralized Cooking Gas Connection (LPG)
- Solar Water Heater
- Layouts Designed as per Vaastu

## Villa Features

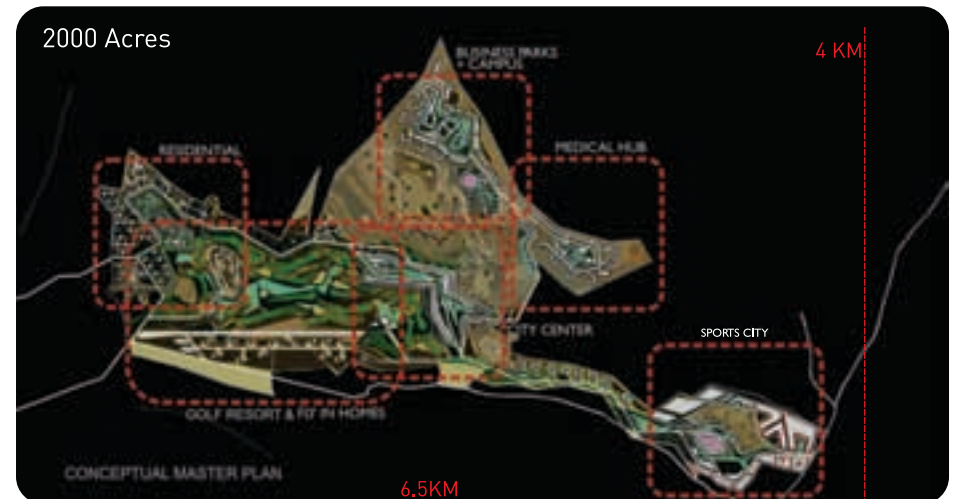
- Split-Level Flooring
- French Windows with Float Glass for Balcony Wherever Designed
- 1 Car Garage Parking (Covered)
- Solar Water Heater with Back Up Electric Water Heater.
- Modular Switches
- Sky Light in Central House over the Court as well as for the Toilets and Basement for Natural Lighting Enhancement
- Intercom & Video Security System (Video Phone)
- RO System for Drinking Water
- Water Softener
- Servant Room with Attached Toilet
- Party Place with Barbeque
- Terrace Garden
- Layouts Designed as per Vaastu





### Exclusive International Standard Resort / Clubhouse

27-hole Golf Course | Air strip, Aeromodelling club, and Helipad | Cricket Stadium | Horse Riding Club | Go Karting | Tennis & Squash Courts | Health & Wellness Centre | Education Campus | Paragliding | Aquatic Sports Complex | Jogging track | Rock Climbing | Swimming Pool | 24 hrs AC Gym/ Health Club | Yoga & Meditation Hall | Spa with Sauna and Jacuzzi | Residential Apartments, Independent Villas & Desert Homes | Art Gallery | Museum | Corporate Offices & Business Centers | Shopping Mall with Multi-cuisine Restaurants / Coffee Shops | Retail & Entertainment zones | Wi-Fi access



## INFRASTRUCTURE



### Infra

Our strides in infrastructure have been steady and measured. We take pride in our associations and the ability to handle multiple, large and complex projects. Our engagements and contracts have seen our involvement and execution in Chennai metro rail, the Outer ring road, Gopanapally road work, Vamsadhara reservoir, Nanadyal Yerraguntla BG line, coal extraction and transportation to name a few. We execute projects of this size and nature with expertise and the requisite machinery infrastructure, which is captive to us.

## NOTES

## NOTES

[illegible][illegible]

[illegible]

Disclaimer The particulars are prepared with all due care for the convenience of intending purchasers but the information provided is intended as a preliminary guide and does not form part of any contract. The developer reserves the right to vary the specification as necessary to complete the works.

\*Accessories shown in the brochure shall not become part of the standard package



All Enquiries:  
+91 40 4033 6666

Email : [sales@aliensgroup.in](mailto:sales@aliensgroup.in)  
Web : [www.aliensgroup.in](http://www.aliensgroup.in)

Corporate Office: Plot # 57, Vittal Rao Nagar, Madhapur, Hyderabad - 81. (A.P.), INDIA.